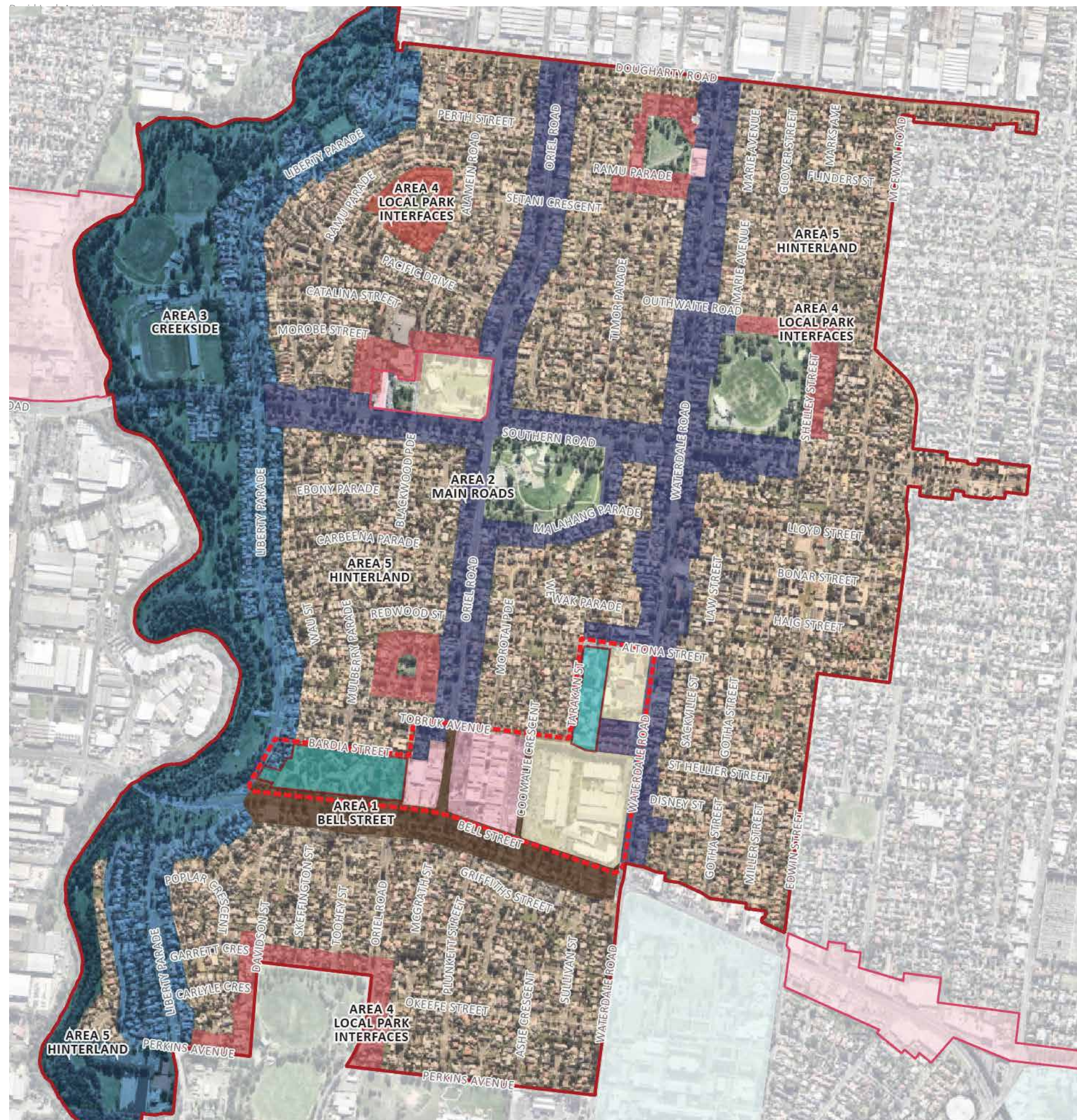




8.0 Future Diversity Areas



8.1 Future Diversity Areas

From the analysis undertaken as part of the preparation of the UDF, 5 future diversity areas have been identified. Each of these areas is envisaged to have a unique future diversity that is distinctive yet complementary of one another, whilst achieving affordable housing and innovation aspirations for the study area. Each future diversity area is described overleaf.

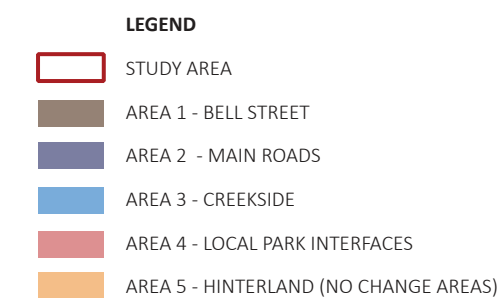


Figure 10 Future Diversity Areas

Area 1: Bell Street

The Bell Street Area consists of the residential frontage to Bell Street, including a one lot depth on the northern and southern sides, between Waterdale Road and Liberty Parade. The existing character within it is generally quite mixed. To the north of Bell Street between Liberty Parade and Bardia Street is the Bellbardia Estate owned by DHHS. This site generally consists of 2-3 storey walk-up block of flats interspersed with trees and gardens. To the east and west of the estate generally lies low-scale detached dwellings. Similarly on the south side of Bell Street lies low-scale detached dwellings.

Within this part of Bell Street, the road widens to 3 lanes travelling in each direction with a wide central median consisting of established trees. The road reserve of Bell Street is approximately 38 metres wide. Its width and boulevard character should be responded to by any future redevelopment within the Study Area and ensure the amenity of any residential hinterland to the south, fronting Bell Street, is managed.

Area 2: Main Roads

Within the Study Area there are several key north-south and east west roads that function as the main arteries through the Study Area. These are Oriel, Southern and Waterdale Roads. The main roads have been identified as a primary opportunity for future redevelopment into higher density housing, primarily because they offer the best access to public transport. The study area is primarily serviced by buses, with Heidelberg Train Station the closest to the study, located approximately 2km away. A Smart Bus route extends through the study area, travelling along Bell Street from the east, north along Oriel Road and west along Southern Road. There are also local bus services travelling along other main roads including Waterdale Road Southern Road and Oriel Road.

Another factor contributing to the opportunity for high density housing along main roads is their proximity to Activity Centres and services. Generally, the higher order Activity Centres, including the Bell Street Mall and Olympic Village are located on the main roads within the study area. The Main Roads also include frontages to larger open space areas within the Study Area. These invite opportunity for higher density housing with improved amenity from the open space frontage and contribute passive surveillance of the open space.

Area 3: Creekside

The study area includes significant frontage to Darebin Creek. Banyule’s Public Open Space Plan indicates that approximately 70% of the public open space in Banyule’s West Precinct is located in the Darebin Creek Corridor. Much of it is either secluded or difficult to access due to it being hemmed in at the rear of either residential or industrial properties. Liberty Parade extends along the balance of the Darebin Creek frontage. In certain locations, lots back onto the creek, which can lead to perceptions of insecurity due to lack of passive surveillance. Creekside has been identified as an area of for opportunity for higher density housing due to its access to open space and Darebin Creek. This asset could be more highly utilised through urban renewal along its edge and with opportunities for a more activated interface overlooking the creek environs. The Area has been generally identified as lots fronting onto either Liberty Parade or Darebin Creek.

Creekside's future redevelopment should also be cognisant of the strategic planning work currently underway within the City of Darebin, as these projects propose connections across the creek, which will need to be considered as part of this project.

Area 4: Local Park Interfaces

This UDF identifies lots surrounding smaller open spaces as Area 4: Local Park Interfaces. These areas have been identified as having medium to high density built form opportunities due to their interface with the local park. A balance must be struck between responding to the open space and density opportunities whilst ensuring the residential hinterland retains its character and amenity.

Area 5: Hinterland

The Hinterland area will continue to maintain a low-rise character building form, height and scale that is respectful to adjoining areas which generally consists of a low scale detached residential character with generous landscaping in the private and public realm. The Hinterland Area has been identified to carry the least amount of change for the following reasons:

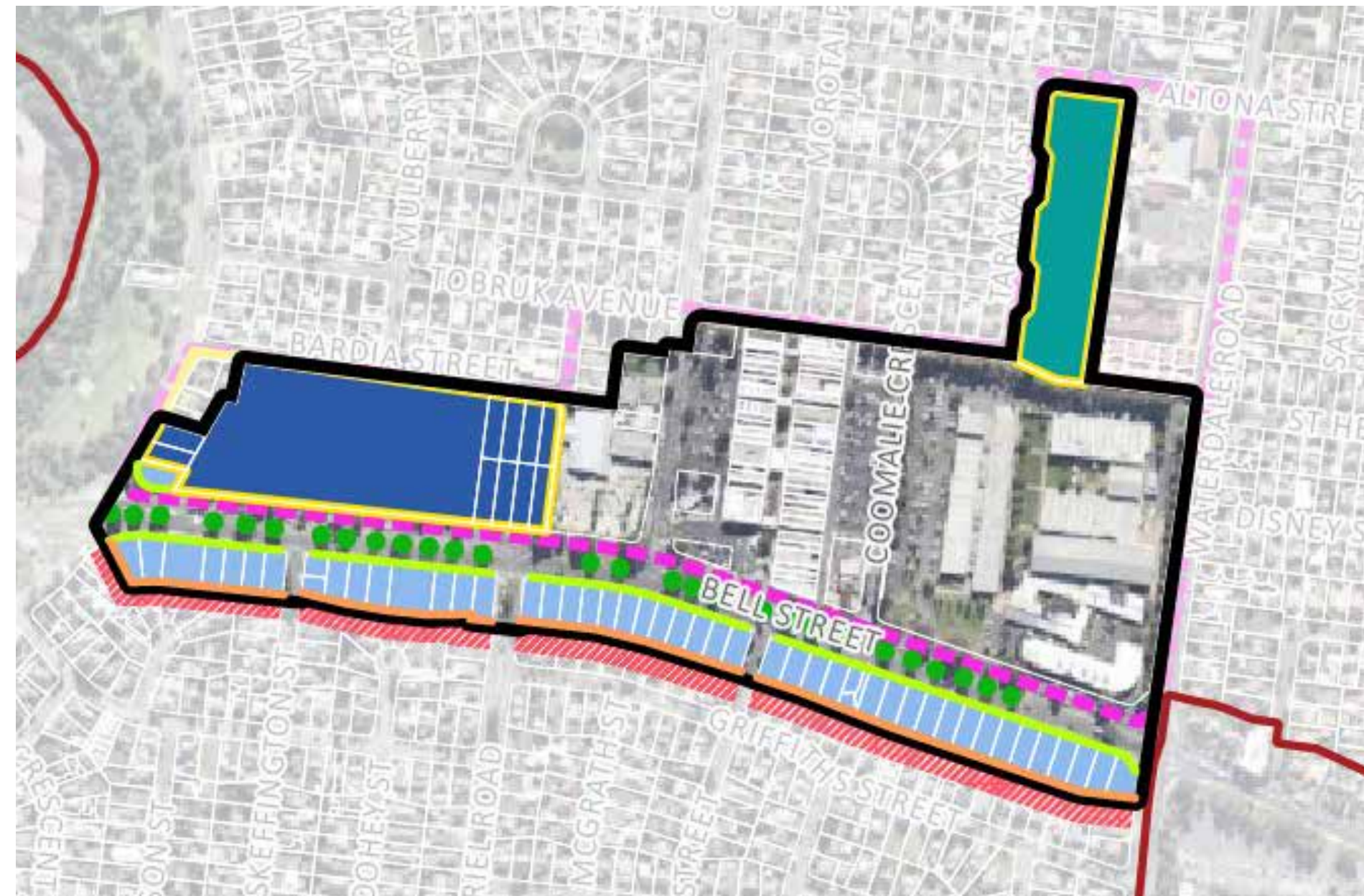
- Reduced access to public transport;
- Narrow residential road cross-sections; and
- Areas with a valued low-rise character that contributes to housing diversity.

The hinterland areas will remain within its current General Residential zoning. This will provide for a preferred future neighbourhood character that supports suburban renewal guided by Clauses 21.06, 22.02, 55 and VPO5. This will protect the majority of the Study Area from substantial change and maintain a diverse range of housing types.

8.2 Objectives and Guidelines

The Study Area comprises five Future Diversity Areas as outlined at Figure 11. Articulated in the following sections are Objectives and Design Guidelines for each Area. The Design Guidelines for each Study Area include built form heights, setbacks and landscape requirements along with specific design outcomes explained through plan form.





LEGEND	
 STUDY AREA	 EMERGING ACTIVITY CENTRE
 AREA 1 - BELL STREET	●●● BOULEVARD CHARACTER
 KEY REDEVELOPMENT SITES	 3M LANDSCAPED FRONT SETBACK
 BELLBARDIA ESTATE	 SETBACKS IN ACCORDANCE WITH CLAUSE 55.04-1,-3,-4,-5 AND -6
 TARAKAN ESTATE	 SENSITIVE RESIDENTIAL INTERFACE TO THE SOUTH
 HEIGHT MUST NOT EXCEED 5 STOREYS (18M)	

Area 1: Bell Street

Design Objectives

- To encourage development within the Bell Street Emerging Activity Centre.
- To encourage higher density mixed use development that responds to the boulevard character of Bell Street and its access to public transport, shops and services.
- To ensure that institutional development contributes positively to the public realm
- To mark the entry to Postcode 3081.
- To improve the streetscape environment of Bell Street.
- To protect the amenity of adjacent residential properties.
- To provide equitable development opportunities for every property.
- To manage the built form character transition.

Figure 11 Area 1: Bell Street

Design Guidelines

(These guidelines are designed to encourage consolidation of 2 or more lots to facilitate higher quality development and more efficient use of land)

1. Building heights must not exceed 5 storeys (18m).

2. Buildings should be:
 - Setback in accordance with Clause 55.04-1 from a direct interface with residentially-zoned properties and Clauses 55.04-4 and 55.04-5 from the rear boundary of lots on the south side of Bell Street (see Figure 12).

3. Balconies may encroach into the upper level setbacks provided they are lightweight and discontinuous.

4. Development should incorporate a front setback of 3 metres.

5. Side setbacks should be designed to allow for the equitable development
- of the adjacent property by:
 - A setback of 4.5 metres from the common boundary; or
 - Providing a blank party wall.

6. Rear loading and vehicle access other than from Bell Street should be considered and prioritised. Bell Street should only be used as a vehicle access point in case other alternatives are not feasible.

7. Building materials and colour palette should reflect the existing residential character through natural, non-reflective materials, such as brick and wood; as well as muted colours.

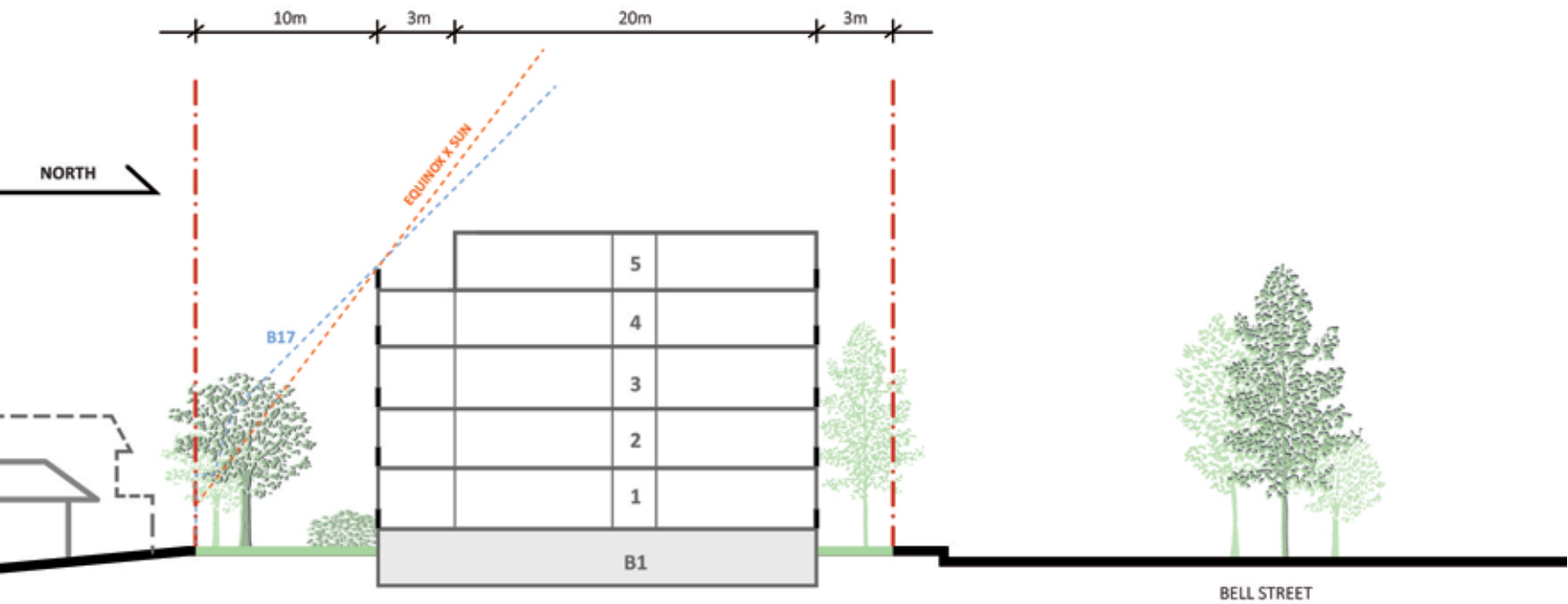
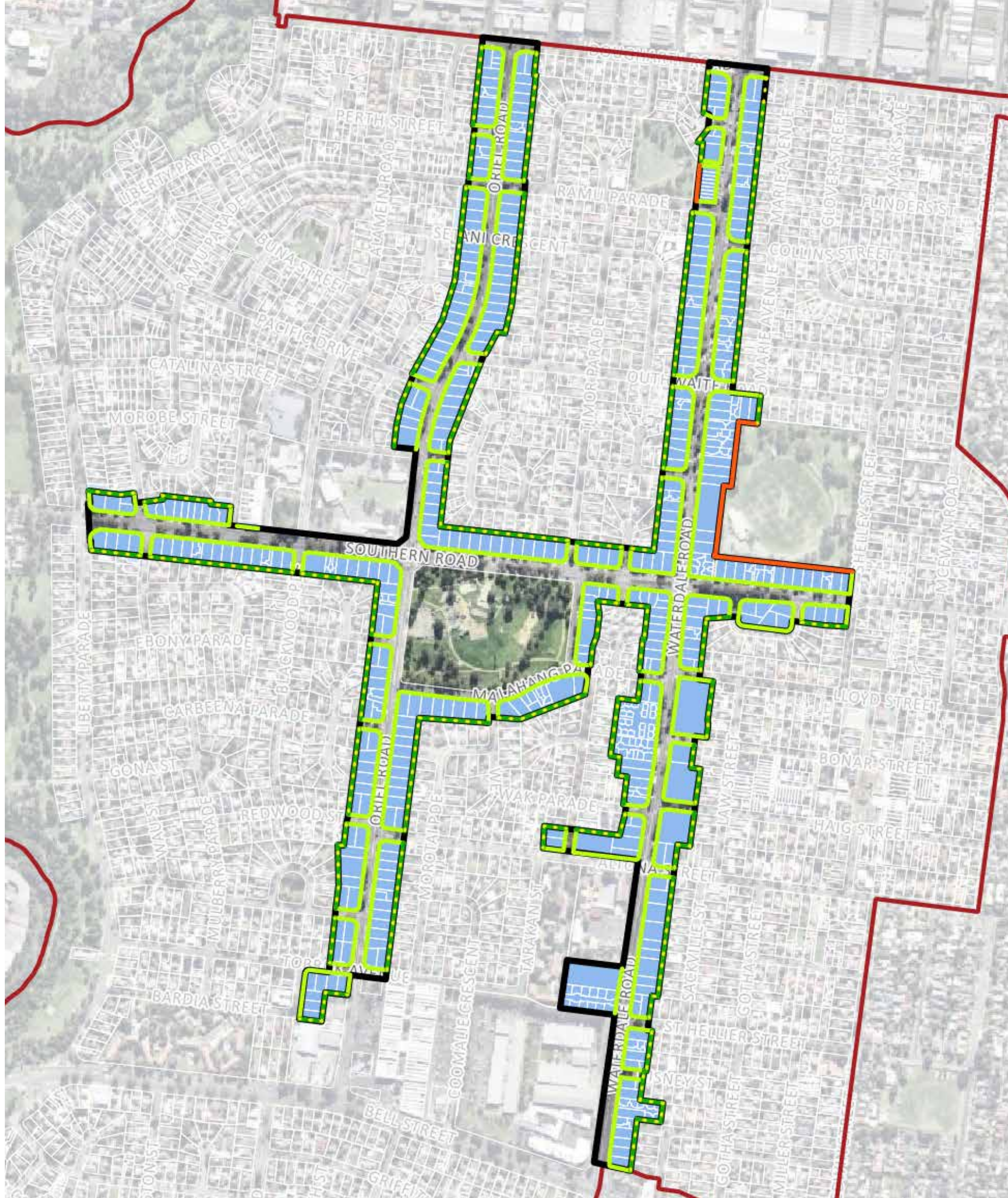


Figure 12 Section - Bell Street (South)



Area 2: Main Roads

Design Objectives

- To enhance legibility by increasing height along main roads.
- To maintain the landscape character of the area.
- To ensure that upper levels visually recede.
- To ensure development is designed to respond to the grain, rhythm and materiality of the existing character.
- To protect the amenity and backyard character of adjoining residential properties.
- To contribute to the safety, and protect the solar access of, public open space.
- To manage the built form character transition.

LEGEND

- STUDY AREA
- AREA 2 - MAIN ROADS
- HEIGHT MUST NOT EXCEED 6 STOREYS (21.5M)
- 4M LANDSCAPED FRONT SETBACK
- LANDSCAPE ZONE (6M MINIMUM DEPTH)
- SETBACK IN ACCORDANCE WITH CLAUSE 55.04-1, 04-4 & 04-5 (B17)
- PROVIDE ACTIVE FRONTAGE, LOW FENCE AND 3M SETBACK TO PARK FRONTAGE

Figure 13 Area 2: Main Roads

Design Guidelines

(These guidelines are designed to encourage consolidation of 2 or more lots to facilitate higher quality development and more efficient use of land)

1. Building heights must not exceed 6 storeys (21.5m)(6 storeys is only likely to be achieved with an amalgamation of 3 lots or more - see Figure 14).

2. Buildings should be setback from a direct interface with residentially-zoned properties in accordance with Clause 55.04-1, Clauses 55.04-4 and 55.04-5.

3. Development should incorporate a minimum front setback of 4 metres to respond to the existing residential character and protect existing trees (and root protection zones) (see Figures 14 and 15).

4. Development should have a side setback of 2 metres to respond to the existing landscape character (see Figure 15).

5. Development should incorporate a rear landscaped setback of 6 metres including at least one large canopy tree per lot, except where the rear boundary abuts public open space.
6. Any part of the building above 3 storeys should be:
 - Setback at least 3 metres from the front building line, and a further 3 metres above 5 storeys;
 - Setback beyond a 45 degree plane from the sides of the level below; and
 - Have a lightweight appearance.

7. The architectural expression of the upper levels and base of the building should be complementary.

8. Balconies may encroach into the upper level setbacks provided they are lightweight and discontinuous.

9. Parking provided above ground should be hidden behind habitable accommodation out of view from the public realm.

10. Development on lots interfacing directly with a park should:
- Be designed to address the public open space to provide passive surveillance, and take advantage of views;
 - Include a 3 metre setback from the common boundary with the park;
 - Include a low to moderate height fence to clearly define the public realm while retaining the potential for visual interaction;
 - Contribute to the cost of a public path in the open space adjacent to the lot boundary to clearly define the public and private realms; and
 - Ensure that at least two-thirds of the public open space will continue to receive sunlight between 11am and 2pm during the winter solstice.

11. Street facades should be articulated to respond to the prevailing 'rhythm' of the neighbourhood character.

12. Building materials and colour palette should reflect the existing residential character through natural, non-reflective materials, such as brick and wood; as well as muted colours.

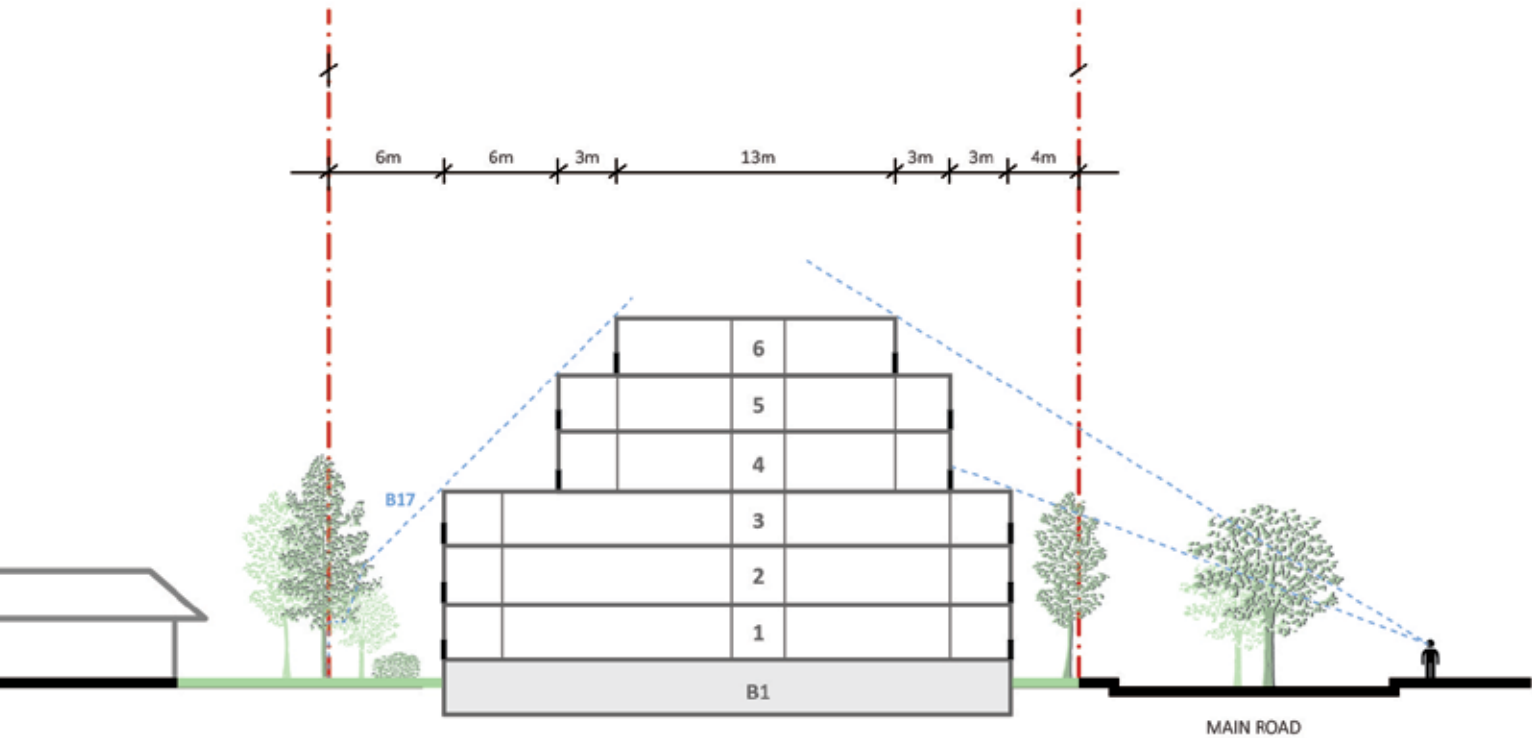


Figure 14 Section - Main Roads

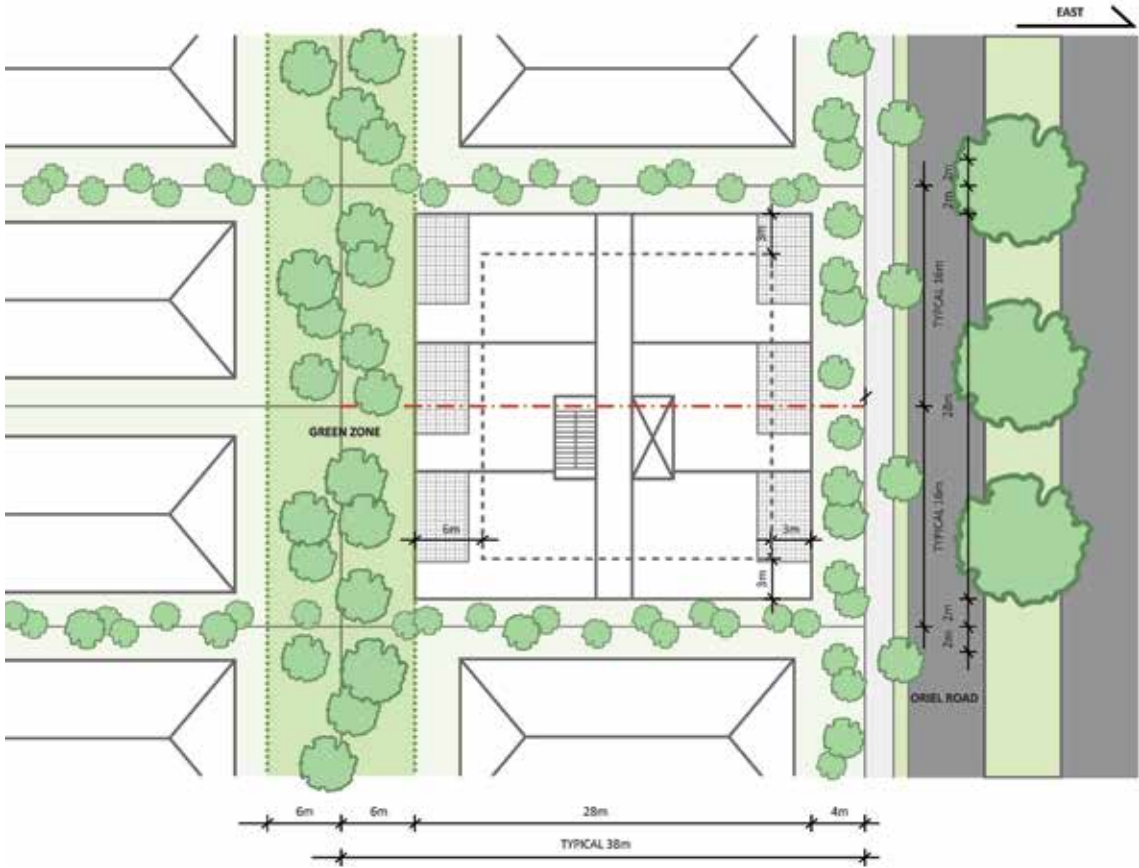


Figure 15 Typical Upper Floor Plan - Main Roads with two lots consolidated

Area 3: Creekside

Design Objectives

- To provide a safe and inviting creek environment.
- To improve pedestrian and cycle access to the creek corridor.
- To provide a visual link from the creek to the residential hinterland.
- To respond to the existing landscape character.
- To encourage increased density to activate the Creekside environment
- To encourage the use of colours and materials that are responsive to the natural creek environment.
- To protect the amenity of adjoining residential properties.
- To manage the built form character transition.

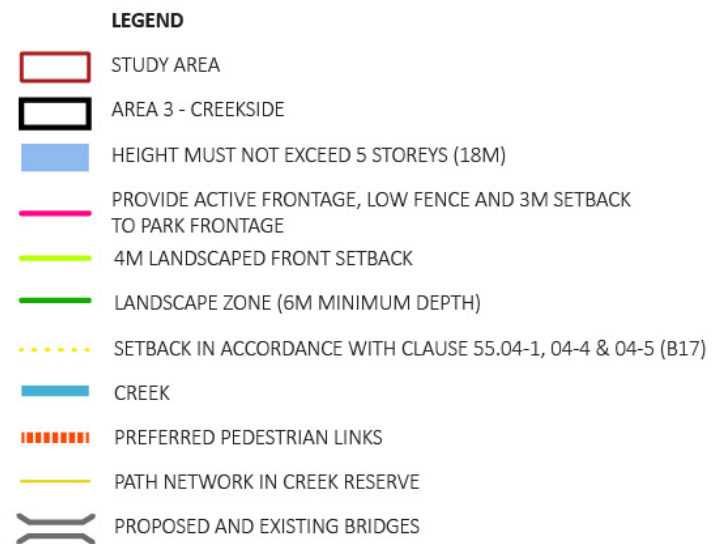


Figure 16 Area 3: Creekside

Design Guidelines

(These guidelines are designed to encourage consolidation of 2 or more lots to facilitate higher quality development and more efficient use of land)

1. Building heights must not exceed 5 storeys (18m).

2. Any part of the building above 3 storeys should be:
 - Setback at least 3 metres from the front building line;
 - Setback beyond a 45 degree plane from the sides of the level below;
 - Have a lightweight appearance; and
 - Balconies may encroach into the upper level setbacks provided they are lightweight and discontinuous.

3. Buildings should be setback from a direct interface with residentially-zoned properties in accordance with Clause 55.04-1, Clauses 55.04-4 and 55.04-5.

4. Development should incorporate a minimum front setback of 4 metres to respond to the existing residential character and protect existing trees (and root protection zones) (See Figure 17).

5. Development should have a side setback of at least 2 metres to respond to the existing landscape character.
6. Development on lots interfacing directly with the creek reserve should:
 - Include side setbacks that create visual and physical links to the creek as follows:
 - For a site comprising 2 consolidated lots (or more), provide side setbacks of 3 metres.
 - Include a publicly-accessible pedestrian and cycle link within one side setback unless a link already exists or is approved within 50 m of the site (see Figure 18 for indicative location of links from residential hinterland to Darebin Creek).
 - Pedestrian links must be designed to Council standards.

→ The edge of pedestrian links should be defined by low landscaping and permeable front fences and development should be designed to address them with entries, windows and balconies.
- Be designed to address the linear creek reserve with entries, windows and balconies.
 - Include a 3 metre landscaped setback from the property boundary facing the creek.
 - Incorporate a low, visually permeable fence to clearly define the public realm while retaining the potential for visual interaction.
 - Include a 1.5 metre footpath within the creek reserve alongside the common boundary to clearly define the public and private realms. This should have logical connections into the existing shared path network along Darebin Creek.

7. Building materials and colour palette should be responsive to the natural creekside character through natural, non-reflective materials, such as wood and brick; as well as muted colours.

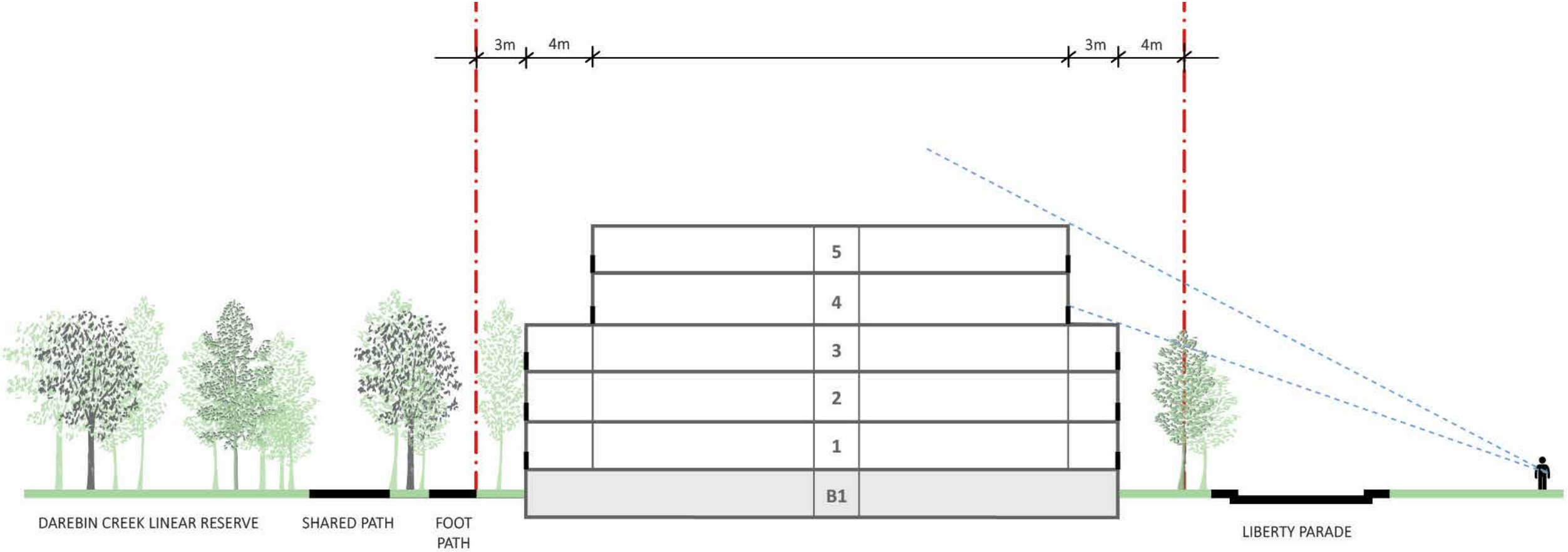


Figure 17 Creekside: East-West Section

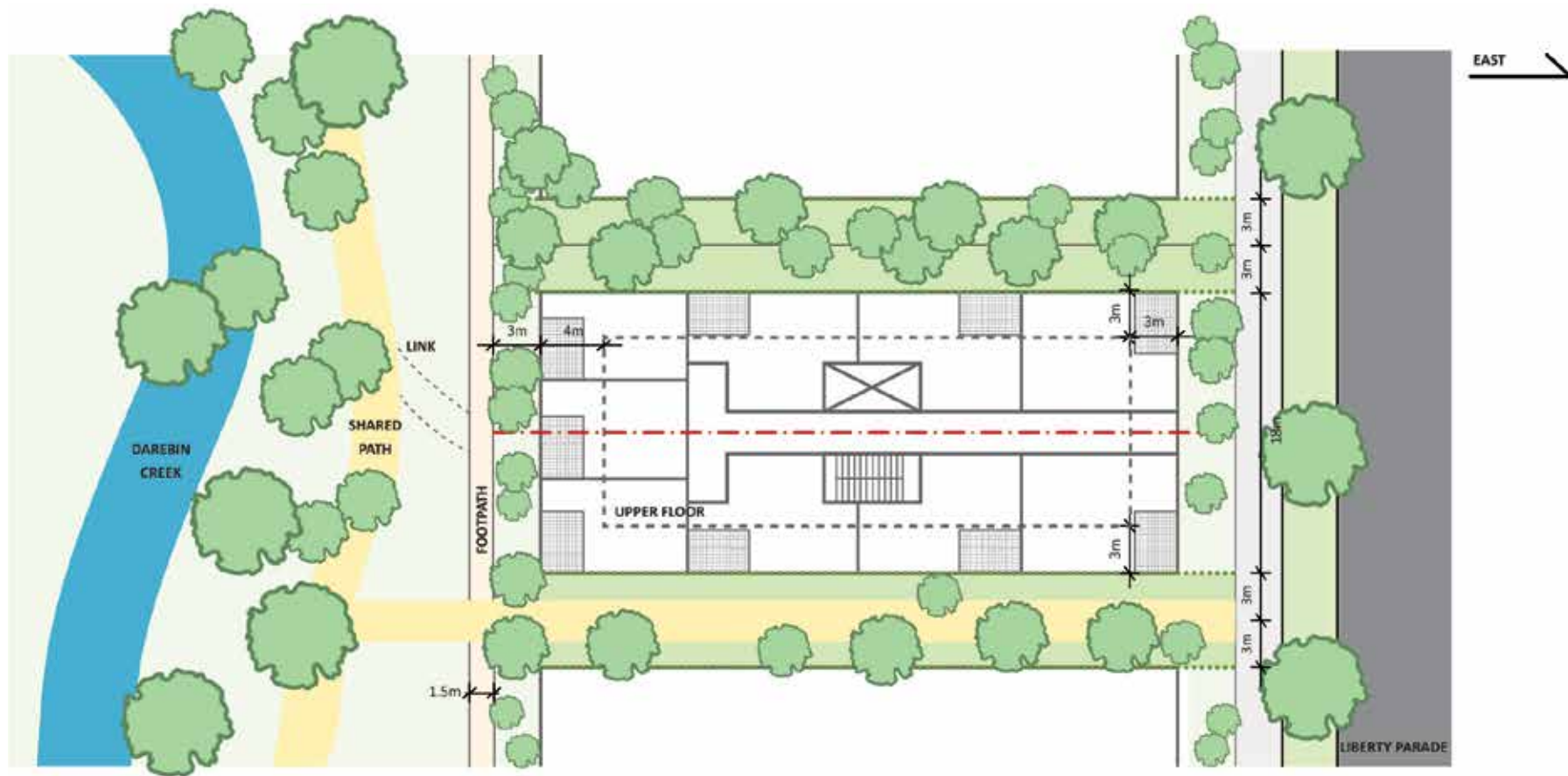


Figure 18 Typical Upper Floor Plan - Creekside (two lots consolidated)

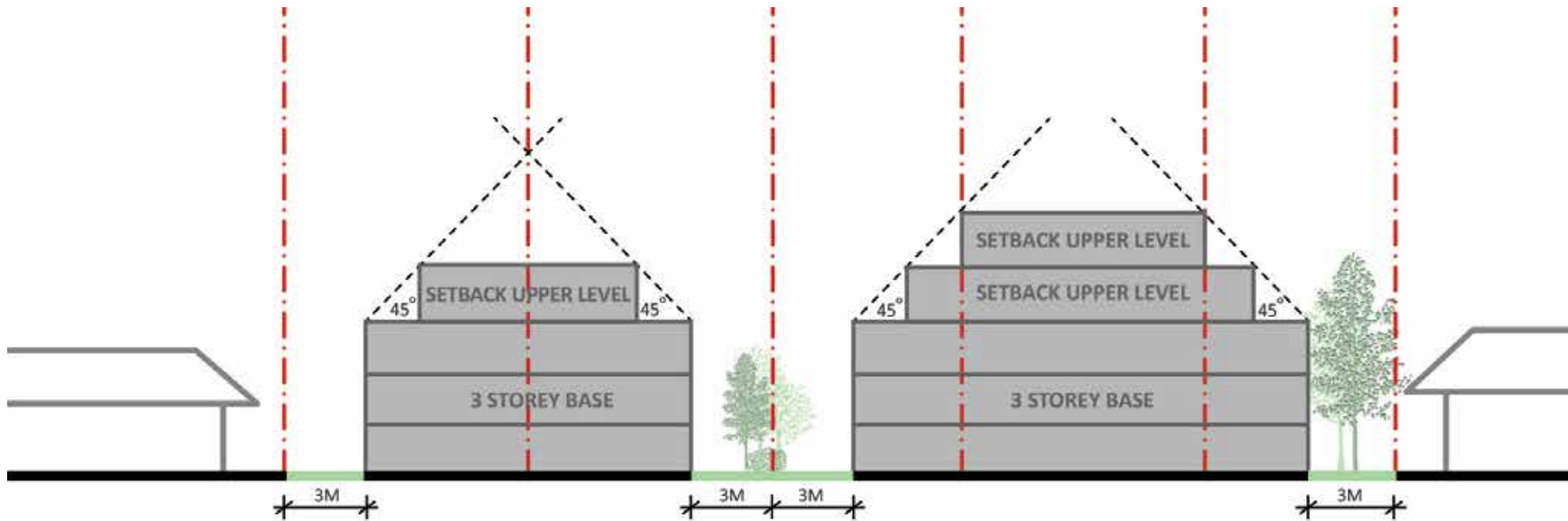


Figure 19 Front Elevation - Creekside - sharing side setbacks for 2-lots & 3-lot sites

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Design Objectives

- To provide safe and inviting parks.
- To protect and enhance the amenity of existing public open spaces.
- To protect the amenity of adjoining residential properties.
- To manage the built form character transition.
- To respond to the existing landscape character.



Figure 20 Area 4: Local Park Interface

Design Guidelines

1. Building heights must not exceed 4 storeys (14.5m).

2. Buildings should be setback from a direct interface with residentially-zoned properties in accordance with Clause 55.04-1, Clauses 55.04-4 and 55.04-5.

3. Development on lots interfacing directly with a park should:
 - Be designed to address the public open space with entries, balconies and windows;
 - Include a 3 metre rear setback from the property boundary facing the park;
 - Include a low and visually permeable fence to clearly define the public realm while retaining the potential for visual interaction;
 - Include a 2 metre shared path within the open space reserve alongside the common boundary to clearly define the public and private realms, to Council's satisfaction; and
 - Ensure that at least two-thirds of the public open space will continue to receive sunlight between 11am and 2pm during the winter solstice.
4. Development should incorporate a front setback of 4 metres to respond to the residential character and protect existing trees (and root protection zones) (see Figure 21).

5. Development should have a side setback of 2 metres to respond to the existing landscape character.

6. Any part of the building above 3 storeys should be:
 - Setback at least 3 metres from the front building line;
 - Setback beyond a 45 degree plane from the sides of the level below;
 - Have a lightweight appearance; and
 - Balconies may encroach into the upper level setbacks provided they are lightweight and discontinuous.

7. Street facades should be articulated to respond to the prevailing 'rhythm' of the neighbourhood character.

8. Building materials and colour palette should reflect the existing residential character through natural, non-reflective materials, such as brick and wood; as well as muted colours.

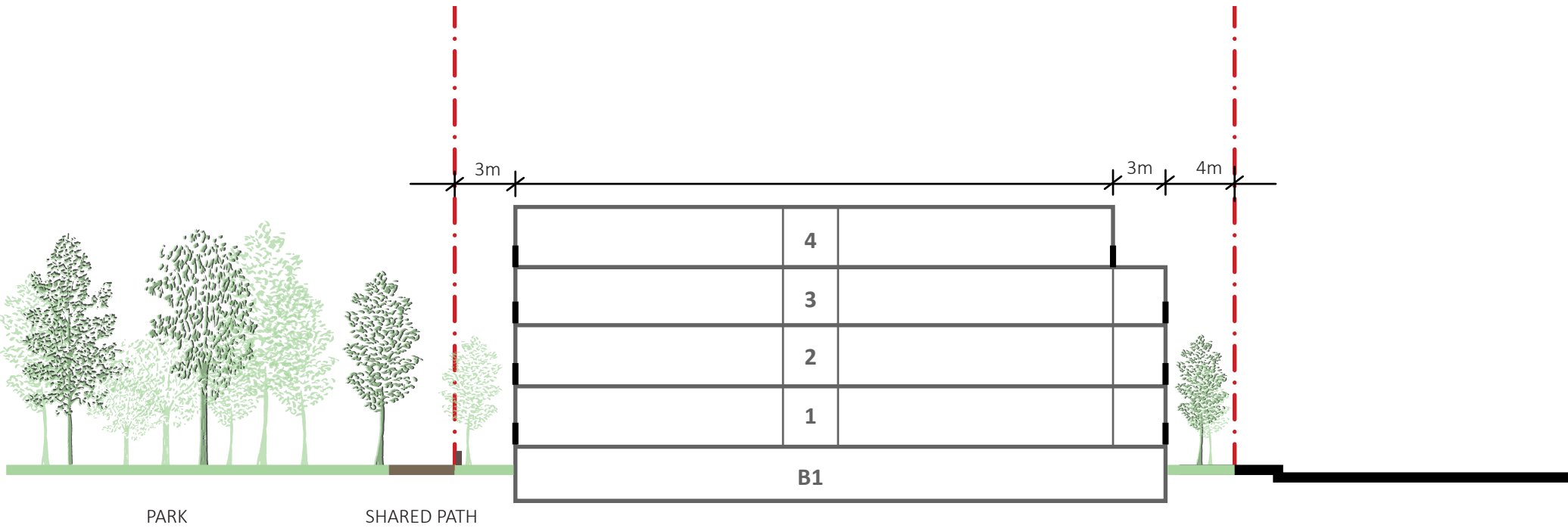


Figure 21 Section - Local Park Interface

Area 5: Hinterland

Design Objectives

- To maintain the low-rise character building form, height and scale of the hinterland.
- To ensure development respects the existing character.
- To ensure development is designed to respond to the grain, rhythm and materiality of the existing dwellings.
- To respond to the existing landscape character.
- To protect the amenity of adjoining residential properties.

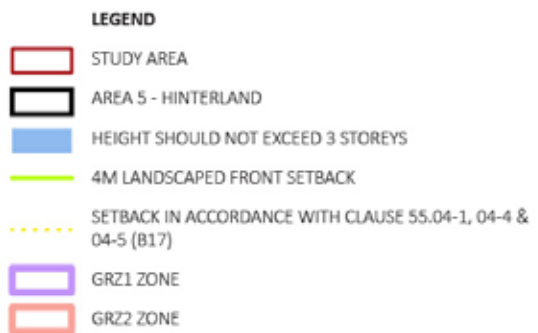


Figure 22 Area 5: Hinterland

Design Guidelines

1. To maintain the low-rise character building form, height and scale of the Hinterland areas.
2. Building heights should not exceed 3 storeys.
3. Development must comply with Clause 55 of the Planning Scheme with the following variations from Standard B6:
 - Walls of buildings should be set back from streets a minimum of 4 metres.
4. Buildings should be setback from a direct interface with residentially-zoned properties in accordance with Clause 55.04-1, Clauses 55.04-4 and 55.04-5.
5. Street facades should be articulated to respond to the prevailing 'rhythm' of the neighbourhood character.
6. Building materials and colour palette should reflect the existing residential character through natural, non-reflective materials, such as brick and wood; as well as muted colours.