

Postcode 3081 Urban Design Framework Amendment C120

Expert Evidence - Strategic and Statutory Planning



From: Plan2Place Consulting

E: paul@plan2place.com.au

M: 0402 839 002

W: www.plan2place.com.au



For: Amendment C120 Panel

Hearing Date: 9 July 2019

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1 Introduction

1.1 Name and Address of Expert

- 1.1.1 My name is Paul Buxton and I am the Director of Plan2Place Consulting located at 121 Shaftesbury Parade, Thornbury, VIC 3071.

1.2 Expert's Qualifications, Experience and Area of Expertise

- 1.2.1 I hold a Bachelor of Arts (Social Sciences) with a major in Sociology from La Trobe University and a Master of Urban Planning from the University of Melbourne. I am a Registered Planner and Fellow of the Planning Institute of Australia.
- 1.2.2 I have over 25 years consulting, local government and Victorian Government experience leading multi-disciplinary teams in developing and preparing implementable strategic plans and statutory frameworks. My curriculum vitae is included at **Appendix B**.
- 1.2.3 In my role as Assistant Director leading the former Activity Centres Unit in the Victorian Government, I provided resources and advice to local government to assist with improved activity centre planning. This included Planning Practice Notes 56, 58 and 60, the development of the Activity Centre Zone (ACZ), application of the ACZ at numerous activity centres and programs that provided advice and financial assistance for projects that filled strategic gaps and completed structure plans.
- 1.2.4 I have helped develop, examine and assess over thirty-five structure plans across Melbourne and regional Victoria. I have also been involved in preparing and developing over 15 business cases for state and locally significant projects which includes the successful development and funding of the Smart Planning Program in the 2016 Victorian budget.
- 1.2.5 I have prepared, coordinated and managed many policy reviews in State and local governments. This included support, management and overall coordination of the Reformed Zones Ministerial Advisory Committee and the Department's project team in 2012-2014. This also involved the management of the consultation process state-wide with over 2000 submissions, delivery of the three reformed zones advisory committee reports over a six month period, and gazettal of state-wide reformed zones and associated guidelines within Ministerial deadlines.
- 1.2.6 I have advised Ministers and the Department's Planning Group Executive Team about complex policy issues and planning scheme amendments, and undertaken whole of government coordination and extensive stakeholder engagement and management.
- 1.2.7 I have prepared over 50 state-wide, regional and local planning scheme amendments which includes the restructuring of the State Planning Policy Framework in 2017 to give greater weight to Plan Melbourne, Regional Growth Plans and other government policy reviews.
- 1.2.8 I have extensive knowledge of the Victorian planning system and Victorian planning legislation and regulations including the application and drafting of the right tools from the Victoria Planning Provisions and how they can best achieve the desired strategic outcomes.
- 1.2.9 As an independent planning consultant, I developed the Commercial 3 Zone for DELWP in mid 2018 which involved the delivery of a new commercial zone into the

Victoria Planning Provisions to implement the strategic directions supporting employment precincts across Melbourne and Victoria.

- 1.2.10 I also developed new planning provisions for integrated water management applying to all non-residential development and multi-dwellings in Victoria working closely with, and implementing, the recommendations of the Stormwater Advisory Committee in late 2018.
- 1.2.11 I have provided submissions to VCAT, Planning Panels Victoria and Advisory Committees acting for state and local governments and under their instructions as clients.

1.3 Details of Any Other Significant Contributors to the Statement (if any) and Their Expertise

- 1.3.1 Contributions were received from Ms Kellie Marks, Principal at Plan2Place Consulting, who holds a Master of Environment and a Bachelor of Planning and Design (Planning) Honours both from the University of Melbourne, into the revisions to the Amendment documentation for Amendment C120 as detailed in **Appendix A**. Other than those contributions, there have been no other contributors from her or others to this statement.

1.4 Instructions That Define the Scope of the Statement

- 1.4.1 I have been instructed by Banyule City Council to provide expert evidence about the form, content and drafting of the proposed planning controls for Amendment C120 to the Banyule Planning Scheme and if they satisfactorily implement Banyule City Council's resolution dated 8 April 2019 and the *Postcode 3081 Urban Design Framework (UDF)*.
- 1.4.2 Specifically, I have been requested to advise on whether:
- I support the proposed approach and planning provisions utilised for Amendment C120.
 - I support the drafted provisions or recommended redrafting and what form that should take.
 - I support the implementation of the UDF and the approach taken for Amendment C120.
- 1.4.3 I have also been requested to respond to submissions relating to strategic and statutory planning matters received to the exhibited Amendment.
- 1.4.4 I was also instructed by Banyule City Council to prepare revisions to the Amendment C120 documentation resulting from submissions and the Council resolution dated 8 April 2019. This was discussed in point 1 of the Panel's directions from the Directions Hearing held on 23 May 2019. My considerations extended to whether the drafting of the schedules were consistent with the *Ministerial Direction on the Form and Content of Planning Schemes*. These documents are attached at **Appendix A** and are referred to as the post exhibition changes.

1.5 Site Inspection

- 1.5.1 I inspected the five areas that form the study area for the UDF on 20 May and 16 June 2019. Land comprising these areas was viewed only from public streets and reserves/parks.

1.6 Documents Relied Upon

1.6.1 I have considered the documents listed below in preparing this evidence:

- Amendment documentation for Banyule Planning Scheme Amendment C120 including the:
 - Explanatory Report
 - Instruction Sheet
 - Proposed Clause 21.06 – Built Environment
 - Proposed Clause 21.08 – Local Places
 - Proposed Clause 21.09 – Reference Documents
 - Proposed Clause 22.02 – Residential Neighbourhood Character Policy
 - Proposed Clause 32.07 – Residential Growth Zone – Schedule 4
 - Proposed Clause 32.07 – Residential Growth Zone – Schedule 5
 - Proposed Clause 32.07 – Residential Growth Zone – Schedule 6
 - Proposed Clause 32.07 – Residential Growth Zone – Schedule 7
 - Proposed Clause 32.08 – General Residential Zone – Schedule 1
 - Proposed Clause 32.08 – General Residential Zone – Schedule 2
 - Proposed Clause 43.02 – Design and Development Overlay – Schedule 13
 - Proposed Clause 43.02 – Design and Development Overlay – Schedule 14
 - Proposed Clause 43.02 – Design and Development Overlay – Schedule 15
 - Proposed Clause 43.02 – Design and Development Overlay – Schedule 16
 - Proposed Clause 43.02 – Design and Development Overlay – Schedule 17
 - Proposed Banyule Planning Scheme – Local Provision Amendment C120 RGZ & GRZ Map (forming part of Planning Scheme Maps 9, 10, 14 & 15)
 - Proposed Banyule Planning Scheme – Local Provision Amendment C120 DDO Map (forming part of Planning Scheme Maps 9DDO, 10DDO & 14DDO)
 - Proposed Clause 72.03 – Maps Comprising Part of this Planning Scheme
- Clause 32.07 – Residential Growth Zone
- Clause 32.08 – General Residential Zone
- Clause 43.02 – Design and Development Overlay
- Postcode 3081 Urban Design Framework, David Lock & Associates, August 2018
- Banyule City Council, Ordinary Meeting of Council, 8 April 2019 Meeting Agenda
- Banyule City Council, Ordinary Meeting of Council, 8 April 2019 Meeting Attachments
- Banyule City Council, Ordinary Meeting of Council, 8 April 2019 Meeting Minutes
- Banyule City Council, Submissions Received to Amendment C120 (for exhibition)
- Banyule City Council, Submissions Received to Amendment C120 (post exhibition changes)
- Ministerial Direction on the Form and Content of Planning Schemes
- Reformed Residential Zones, Residential Growth Zone, DELWP, March 2017
- Planning Practice Note 59: The Role of Mandatory Provisions in Planning Schemes, September 2018
- Reformed Residential Zones, Maximum building heights and number of storeys, DELWP, March 2017
- VicPlan (Banyule Planning Scheme Maps), DELWP, 1 July 2019
- Planning and Environment Act 1987, Parts 1, 1A, 2 and 3

- Peer Review of Amendment C120 Documentation (Suggested Revisions) Proposed Post-Exhibition Changes (Plan2Place Consulting, 30 May 2019)
- Planning Panels Victoria: Guide to Expert Evidence.

1.7 Statement Identifying the Role the Expert Had in Preparing or Overseeing the Exhibited Reports

- 1.7.1 Plan2Place Consulting was engaged by Council on 9 May 2019 to review the Amendment documentation for Amendment C120 following exhibition and after a Council decision was made about the Amendment on 8 April 2019.
- 1.7.2 I was not involved in the drafting of the exhibited Amendment in 2018 and have only been involved in redrafting of the revised Amendment documentation that was put by Council to the Panel at the Directions Hearing on 23 May 2019. This documentation has formed the basis of the proposed post-exhibition changes to the Amendment being considered by the Panel on 9 & 11 July 2019.
- 1.7.3 The revised documentation that I provided to Council which forms the post exhibition changes is included at **Appendix A**.

1.8 Facts, Matters and Assumptions Upon Which the Statement Proceeds

- 1.8.1 In the preparation of this report I have assumed that all documents referred to above are current and correct in the information that they contain at the time of completion of this report.

1.9 Summary Opinion

- 1.9.1 It is my view that:
- The post exhibition changes forming part of the Amendment C120 documentation:
 - Will implement the Council resolution of 8 April 2019.
 - Will implement the consequential changes to the UDF as approved by Council.
 - Makes appropriate use of the Victoria Planning Provisions.
 - Is drafted appropriately in relation to form and content and is consistent with the *Ministerial Direction on the Form and Content of Planning Schemes*.
 - Responds appropriately to submissions that have been received to the Amendment, including those received to the post exhibition changes Amendment documentation.

1.10 Statement Identifying if the Evidence is Incomplete or Inaccurate in Any Respect

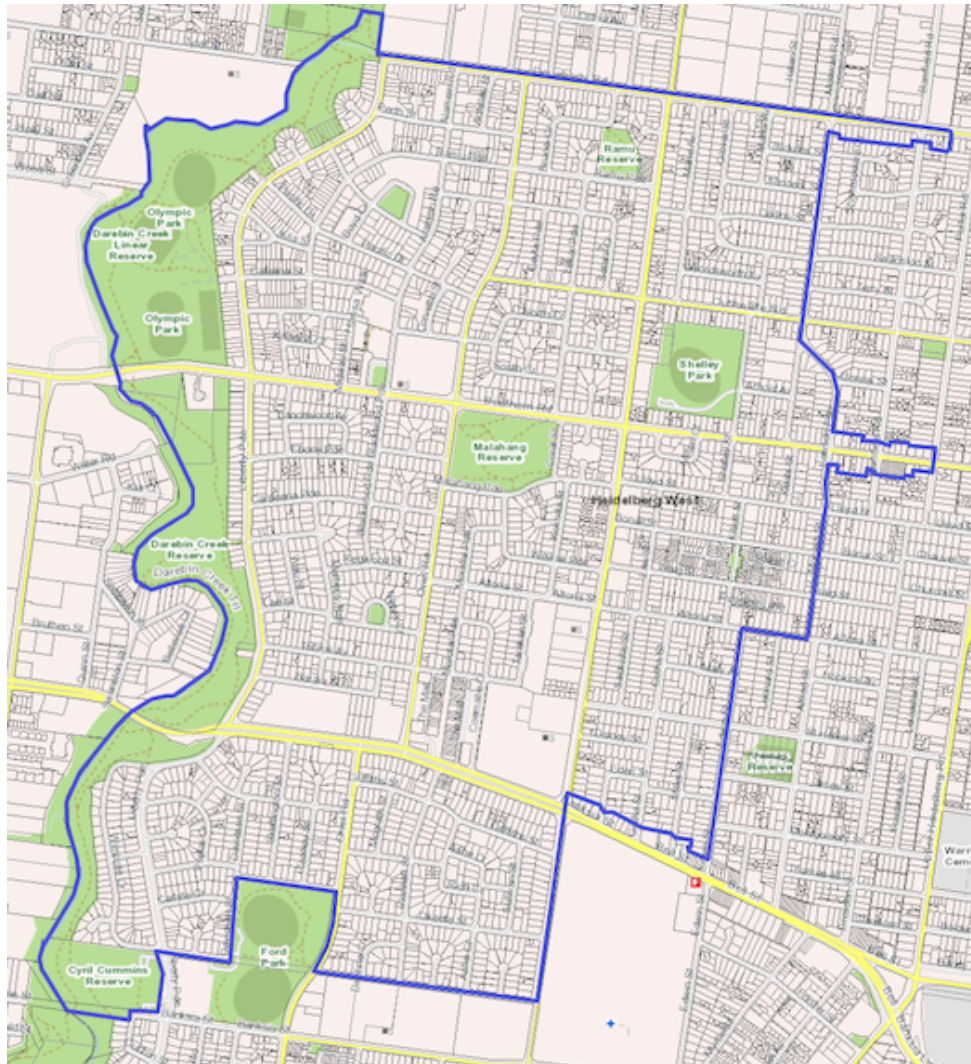
- 1.10.1 To the best of my knowledge, nothing of significance has been omitted from this statement of evidence and is otherwise to the best of my knowledge complete and correct.

2 Overview of Amendment and Statutory Planning Context

2.1 Amendment Overview

- 2.1.1 Amendment C120 implements the *Postcode 3081 Urban Design Framework* (UDF) prepared by David Lock & Associates for Banyule City Council and aims to guide urban renewal and development in Postcode 3081 to 2050. The local context of the UDF is shown in **Figure 1**.

Figure 1: Context of Postcode 3081 Area



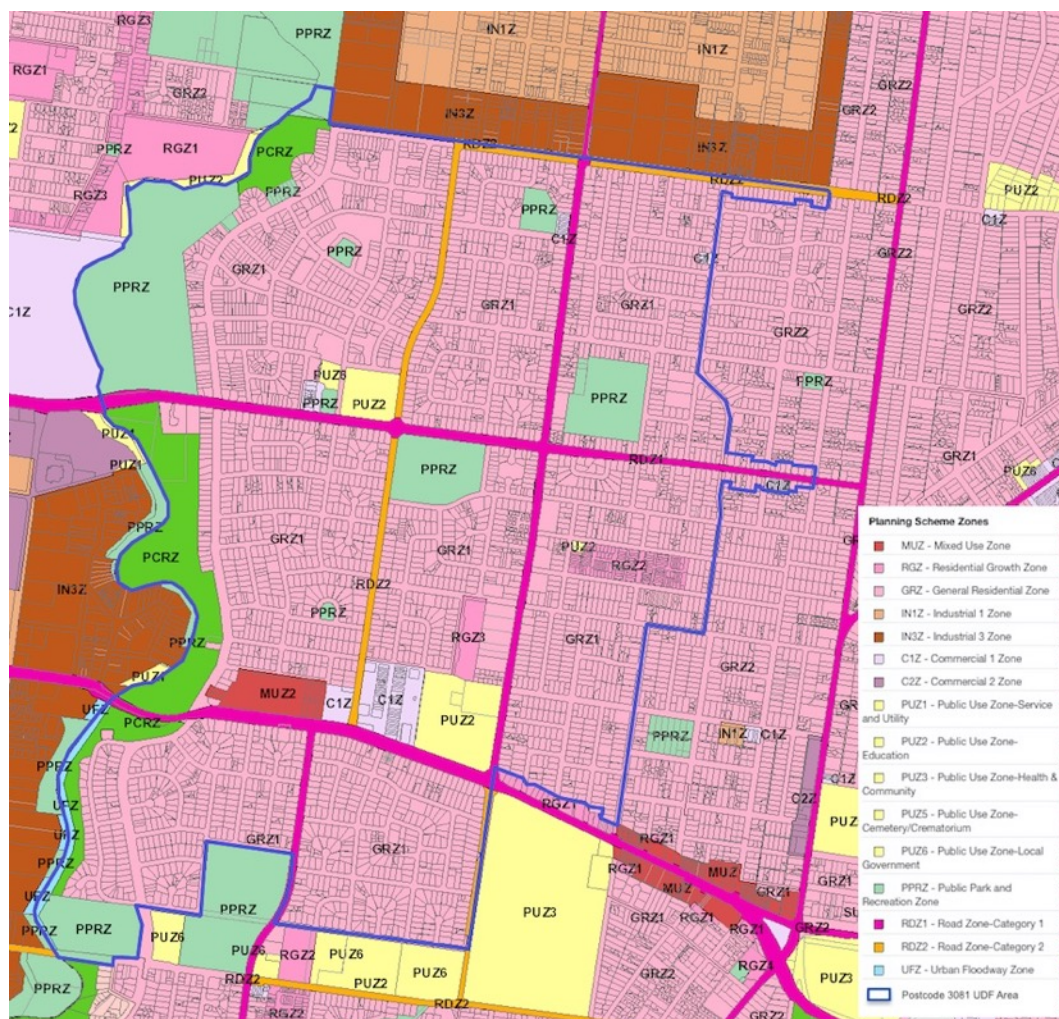
- 2.1.2 The planning scheme amendment to implement the UDF was exhibited in 2018 with 50 submissions received to the Amendment by Council. Council considered the submissions at its 8 April Ordinary Council meeting and resolved to proceed with the Amendment and request that the Minister for Planning appoint a Planning Panel to consider any unresolved submissions. In supporting the Amendment on 8 April 2019, Council resolved to make a number of changes to the Amendment in response to submissions.
- 2.1.3 Plan2Place Consulting was requested to undertake a peer review of the planning provisions and prepare advice to Council based on submissions received to the Amendment, the Council decision and other relevant factors such as the *Ministerial Direction on the Form and Content of Planning Schemes*. These proposed provisions are outlined in **Appendix A**.

- 2.1.4 This revised documentation known as the post exhibition changes was put to the Panel at the Directions Hearing on 23 May 2019 and is proposed to form the revised Amendment documentation that now constitutes Council's position on the Amendment. The affected community, stakeholders and submitters to the Amendment have been re-notified about Council's revisions to the Amendment and the revised documentation. A total of five submissions were received (with two new submissions) and these are discussed below.

2.2 Existing Statutory Planning Controls

- 2.2.1 The existing planning scheme controls for *Postcode 3081* within the City of Banyule are shown in **Figures 2, 3 and 4**.

Figure 2: Existing Zoning applying to Postcode 3081

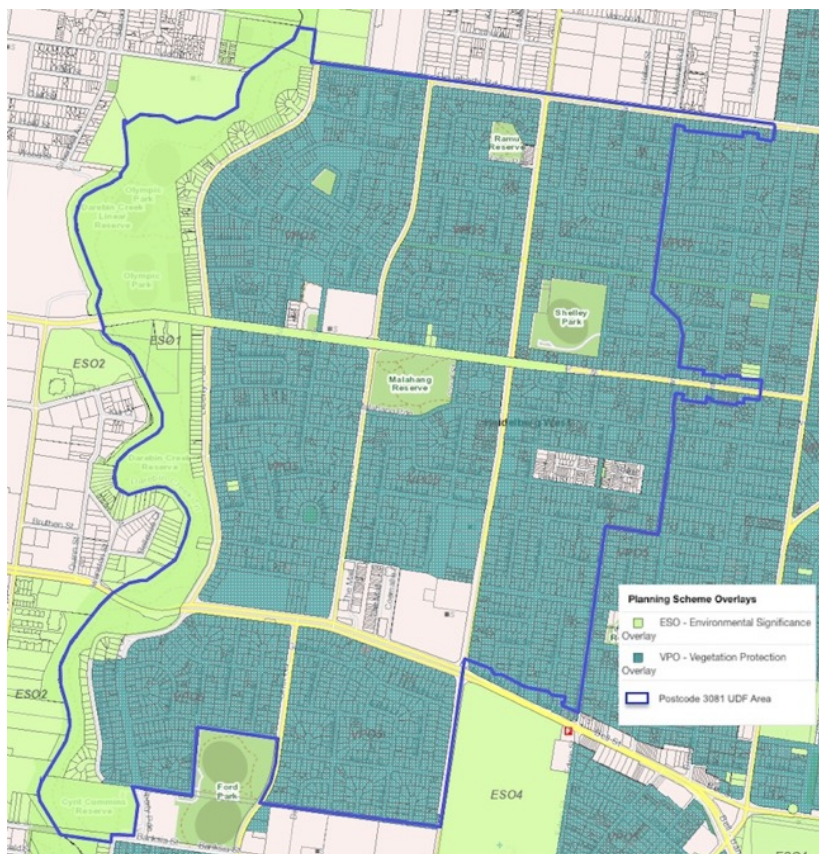


- 2.2.2 Residential land in *Postcode 3081* is mostly zoned General Residential Growth Zone 1 (GRZ1) which allows development of up to 11 metres in height and requires that landscaping allows for at least one large tree in the front setback area. The Mixed Use Zone (MUZ2) and the Residential Growth Zone – Schedule 3 (RGZ3) are applied to some housing managed by the Department of Health and Human Services (DHHS). There are a range of other zones applied corresponding to non-residential land uses including public use, public park or commercial use.

Figure 3: Existing Overlays (other than ESO & VPO) applying to Postcode 3081



Figure 4: Existing Overlays (ESO & VPO) applying to Postcode 3081



2.2.3 Land in *Postcode 3081* includes a number of overlay controls. The most significant of these controls is the Vegetation Protection Overlay – Schedule 5 (VPO5) that applies to all land in *Postcode 3081* with the exception of several parks, the Olympic Village Primary School and the Bell Street Mall. Other overlays applying to land in the area include the:

- Land Subject to Inundation Overlay and Environmental Significance Overlay (ESO1) applying to land along Darebin Creek with ESO4 applying to vegetation along Southern Road and several residential sites.
- Public Acquisition Overlay (PAO1) applying to land along Bell Street for proposed road widening purposes.
- Heritage Overlay (HO184) applying to land on the Southern Road site of the 1956 Olympic Village.
- Incorporated Plan Overlay (IPO2) applying to the former Olympic Village land (but proposed to be removed through Amendment C114 to the Banyule Planning Scheme).
- Development Plan Overlays applying to the Bellbardia Estate (DPO5) and the Tarakan Estate (DPO6) which seek to redevelop these sites for housing renewal.
- Parking Overlays (PO3, PO4 and PO5) applying to the Bell Street Mall and Heidelberg West Core Area, Bellbardia Estate and the Tarakan Estate specifying reduced car parking rates for particular uses.
- Special Building Overlays (SBO1 and SBO2) applying to land within the area identifying land liable to inundation from overland flows from the urban drainage system.

2.3 Planning Policy Framework

2.3.1 The Planning Policy Framework (PPF) is included at Clauses 10 – 19 of the Banyule Planning Scheme. Many are relevant to the UDF as detailed below.

PPF Clause	Analysis / Discussion
11 SETTLEMENT 11.01-1S Settlement Objective <ul style="list-style-type: none"> • To promote the sustainable growth and development of Victoria and deliver choice and opportunity for all Victorians through a network of settlements. 	<p>Strategies promote the sustainable growth and development of Victoria through a settlement framework and focusing investment and growth in places of state significance.</p> <p>Regions are to be planned to reinforce settlement boundaries and provide for population growth and development of facilities and services across the regional and sub-regional network. High-quality, integrated settlements are promoted that have a strong identity and sense of place and are prosperous and sustainable.</p> <p>Growth is directed into existing settlements and supported by a network of major and neighbourhood</p>

	activity centres and townships of varying size, role and function. Urban consolidation is encouraged with density that supports sustainable transport and retail, office-based employment, community facilities and services.
11.02-1S – Supply of urban land Objective: <ul style="list-style-type: none"> To ensure a sufficient supply of land is available for residential, commercial, retail, industrial, recreational, institutional and other community uses. 	Strategies aim to ensure the ongoing provision of land and supporting infrastructure to support sustainable urban development, with sufficient land availability to meet forecast demand over at least a 15 year period and provide clear direction on locations where growth should occur. Residential land supply is considered on a municipal basis.
11.02-2S – Structure planning Objective <ul style="list-style-type: none"> To facilitate the orderly development of urban areas. 	Strategies promote the preparation of structure plans and precinct structure plans through management of land use and development with comprehensive planning for new areas and include urban renewal areas.
11.03-1S – Activity centres Objective <ul style="list-style-type: none"> To encourage the concentration of major retail, residential, commercial, administrative, entertainment and cultural developments into activity centres that are highly accessible to the community. 	Relevant strategies promote the sustainable growth and development of Victoria through a network of major and neighbourhood activity centres and townships of varying size, role and function. Activity centres promote opportunities for the consolidation, redevelopment and intensification of existing urban areas through strategic planning for activity centres. Activity centres aim to concentration major retail, residential, commercial, administrative, entertainment and cultural developments, providing a variety of land uses which are highly accessible to the community based on their context.
11.03-6S – Regional and local places Objective <ul style="list-style-type: none"> To facilitate integrated place-based planning. 	Strategies seek to integrate relevant planning considerations to provide specific direction for the planning of sites, places, neighbourhoods and other areas. Consideration is also to be given to the distinctive characteristics and needs of regional and local places in

	planning for future land use and development.
12 ENVIRONMENTAL AND LANDSCAPE VALUES 12.01-1S – Protection of biodiversity Objective <ul style="list-style-type: none"> To assist the protection and conservation of Victoria’s biodiversity. 	Strategies aim to protect and conserve Victoria’s biodiversity by protecting and conserving important areas of biodiversity across Victoria through recognition of various international conventions.
12.01-2S – Native vegetation management Objective <ul style="list-style-type: none"> To ensure that there is no net loss to biodiversity as a result of the removal, destruction or lopping of native vegetation. 	Strategies seek to protect and conserve Victoria’s biodiversity by avoiding the removal, destruction or lopping of native vegetation, minimising impacts where vegetation removal cannot be avoided and providing offsets to compensate for biodiversity impacts where vegetation removal is required.
13 ENVIRONMENTAL RISKS AND AMENITY 13.01-1S – Natural hazards and climate change Objective <ul style="list-style-type: none"> To minimise the impacts of natural hazards and adapt to the impacts of climate change through risk-based planning. 	<p>Strategies seek to strengthen the resilience of communities to natural hazards and climate change through risk based planning approaches in planning and management decision making processes that prioritise the protection of human life.</p> <p>Planning approaches need to direct population growth and development to low risk locations and anticipate and plan for potential impacts from bushfire, climate change, flooding and other hazards with appropriate risk mitigation and risk adaptation strategies.</p>
13.03-1S –Floodplain management Objective <ul style="list-style-type: none"> To assist the protection of: <ul style="list-style-type: none"> Life, property and community infrastructure from flood hazard. The natural flood carrying capacity of rivers, streams and floodways. The flood storage function of floodplains and waterways. Floodplain areas of environmental significance or of importance to river health. 	Strategies identify land affected by flooding, including land inundated by a 1 in 100 year flood event or as determined by the floodplain management authority in planning schemes and aim to avoid intensifying the impact of flooding through inappropriately located use and development.

<p>15 BUILT ENVIRONMENT AND HERITAGE</p> <p>15.01-1S – Urban design and Objective</p> <ul style="list-style-type: none"> • To create urban environments that are safe, healthy, functional and enjoyable and that contribute to a sense of place and cultural identity. 	<p>Strategies aim to create urban and rural environments that are safe, healthy, functional and enjoyable and provide good quality environments with a sense of place and cultural identity. A high level objective and eight related strategies are considered along with the <i>Urban Design Guidelines for Victoria</i> (DELWP 2017).</p> <p>These support the creation of well-designed places and townships that are memorable, distinctive and liveable with new development that is sympathetically located.</p>
<p>15.01-2S – Building design Objective</p> <ul style="list-style-type: none"> • To achieve building design outcomes that contribute positively to the local context and enhance the public realm. 	<p>Strategies require a comprehensive site analysis to ensure that development responds and contributes to the strategic and cultural context of its location, enhancing and minimising detrimental impacts of development on neighbouring properties, the public realm and the natural environment.</p> <p>Development is to be designed to protect and enhance valued landmarks, views and vistas, with landscaping that responds to its site context, enhance built form and create safe and attractive spaces with safe access and egress for pedestrians, cyclists and vehicles.</p>
<p>15.01-4S – Healthy neighbourhoods Objective</p> <ul style="list-style-type: none"> • To achieve neighbourhoods that foster healthy and active living and community wellbeing. 	<p>Strategies aim to design neighbourhoods that foster community interaction and make it easy for people of all ages and abilities to live healthy lifestyles and engage in regular physical activity.</p>
<p>15.01-5S –Neighbourhood character Objective</p> <ul style="list-style-type: none"> • To recognise, support and protect neighbourhood character, cultural identity, and sense of place. 	<p>Strategies seek to ensure that development responds to cultural identity, contributes to the existing or preferred neighbourhood character by responding to its context and reinforcing a sense of place and promoting valued features and characteristics of the local environment and place.</p>

<p>15.02-1S – Energy and resource efficiency Objective</p> <ul style="list-style-type: none"> To encourage land use and development that is energy and resource efficient, supports a cooler environment and minimises greenhouse gas emissions. 	<p>Strategies aim to encourage land use and development that is energy and resource efficient, supports a cooler environment and minimises greenhouse gas emissions through sustainable development.</p>
<p>16 HOUSING 16.01-1S – Integrated housing Objective</p> <ul style="list-style-type: none"> To promote a housing market that meets community needs. <p>16.01-2 – Location of residential development Objective</p> <ul style="list-style-type: none"> To locate new housing in designated locations that offer good access to jobs, services and transport. <p>16.01-3S – Housing diversity Objective</p> <ul style="list-style-type: none"> To provide for a range of housing types to meet diverse needs. <p>16.01-4S – Housing affordability Objective</p> <ul style="list-style-type: none"> To deliver more affordable housing closer to jobs, transport and services. 	<p>Strategies seek to provide certainty about the scale of growth by prescribing appropriate height and site coverage provisions for different areas. They allow for a range of minimal, incremental and high change residential areas that balance the need to protect valued areas with the need to ensure choice and growth in housing.</p> <p>The strategies seek to provide housing diversity and affordable housing closer to jobs, transport and services through sustainable and efficient provision of infrastructure with access to services, including walkability to activity centres, public transport, schools and open space.</p> <p>Any new housing should be provided in designated locations that offer good access to jobs, services and transport and provide for a range of housing types to meet diverse needs in mixed use environments.</p>
<p>17 ECONOMIC DEVELOPMENT 17.01-1S – Diversified economy Objective</p> <ul style="list-style-type: none"> To strengthen and diversify the economy. <p>17.01-1S – Diversified economy – Metropolitan Melbourne</p>	<p>These policies aim to strengthen and diversify the economy and facilitate growth in a range of employment sectors, including health, education, retailing, tourism, knowledge industries and professional and technical services based on the emerging and existing strengths of each region. They also seek to improve access to jobs closer to where people live and support rural economies to grow and diversify. Strategies support the development of the Latrobe National Employment and Innovation Cluster and Health and Education Precincts.</p>

<p>18 – TRANSPORT</p> <p>18.01-1S – Land use and transport planning</p> <p><i>Objective</i></p> <ul style="list-style-type: none"> • To create a safe and sustainable transport system by integrating land use and transport. <p>18.01-2S – Transport system</p> <p><i>Objective</i></p> <ul style="list-style-type: none"> • To coordinate development of all transport modes to provide a comprehensive transport system. <p>18.02-1 – Sustainable personal transport,</p> <p><i>Objective</i></p> <ul style="list-style-type: none"> • To promote the use of sustainable personal transport. <p>18.02-2S – Public Transport</p> <p><i>Objective</i></p> <ul style="list-style-type: none"> • To facilitate greater use of public transport and promote increased development close to high-quality public transport routes. <p>18.02-3S – Road system</p> <p><i>Objective</i></p> <ul style="list-style-type: none"> • To manage the road system to achieve integration, choice and balance by developing an efficient and safe network and making the most of existing infrastructure. <p>18.02-4S – Car parking</p> <p><i>Objective</i></p> <ul style="list-style-type: none"> • To ensure an adequate supply of car parking that is appropriately designed and located. 	<p>Transport planning policy aims to create a safe and sustainable transport system by integrating land-use and transport and coordinating improvements to public transport, walking and cycling networks with the ongoing development and redevelopment of urban areas. These policies seek to coordinate development of all transport modes to provide a comprehensive transport system including the promotion of more walking and cycling networks and local bus services connecting to railway services which access the broader network.</p> <p>Strategies aim to manage the road system to achieve integration, choice and balance by developing an efficient and safe network and making the most of existing infrastructure. They also seek to ensure an adequate supply of car parking that is appropriately designed and located. Land should be set aside for car parking subject to the existing and potential modes of access including public transport, the demand for off-street car parking, road capacity and the potential for demand management of car parking.</p>
<p>19 INFRASTRUCTURE</p> <p>19.02-4S – Social and cultural infrastructure</p> <p><i>Objective</i></p> <ul style="list-style-type: none"> • To provide fairer distribution of and access to, social and cultural infrastructure. 	<p>Strategies aim to develop the necessary physical and social infrastructure, open space provision and networks and the integrated provision of water supply, water resources, sewerage, drainage and stormwater as well as utilities such as electricity, gas (not in all cases) and telecommunications.</p>

19.02-6S – Open space**Objective**

- To establish, manage and improve a diverse and integrated network of public open space that meets the needs of the community.

The strategies also seek to provide an integrated approach to the planning and engineering design of new subdivision and development.

19.03-3S – Integrated water management**Objective**

- To sustainably manage water supply, water resources, wastewater, drainage and stormwater through an integrated water management approach.

19.03-5S – Telecommunications**Objective**

- To facilitate the orderly development, extension and maintenance of telecommunication infrastructure.

2.4 Local Planning Policy Framework

- 2.4.1 Clauses in the Local Planning Policy Framework (LPPF) of the *Banyule Planning Scheme* include relevant directions for local places and neighbourhood character as detailed below.

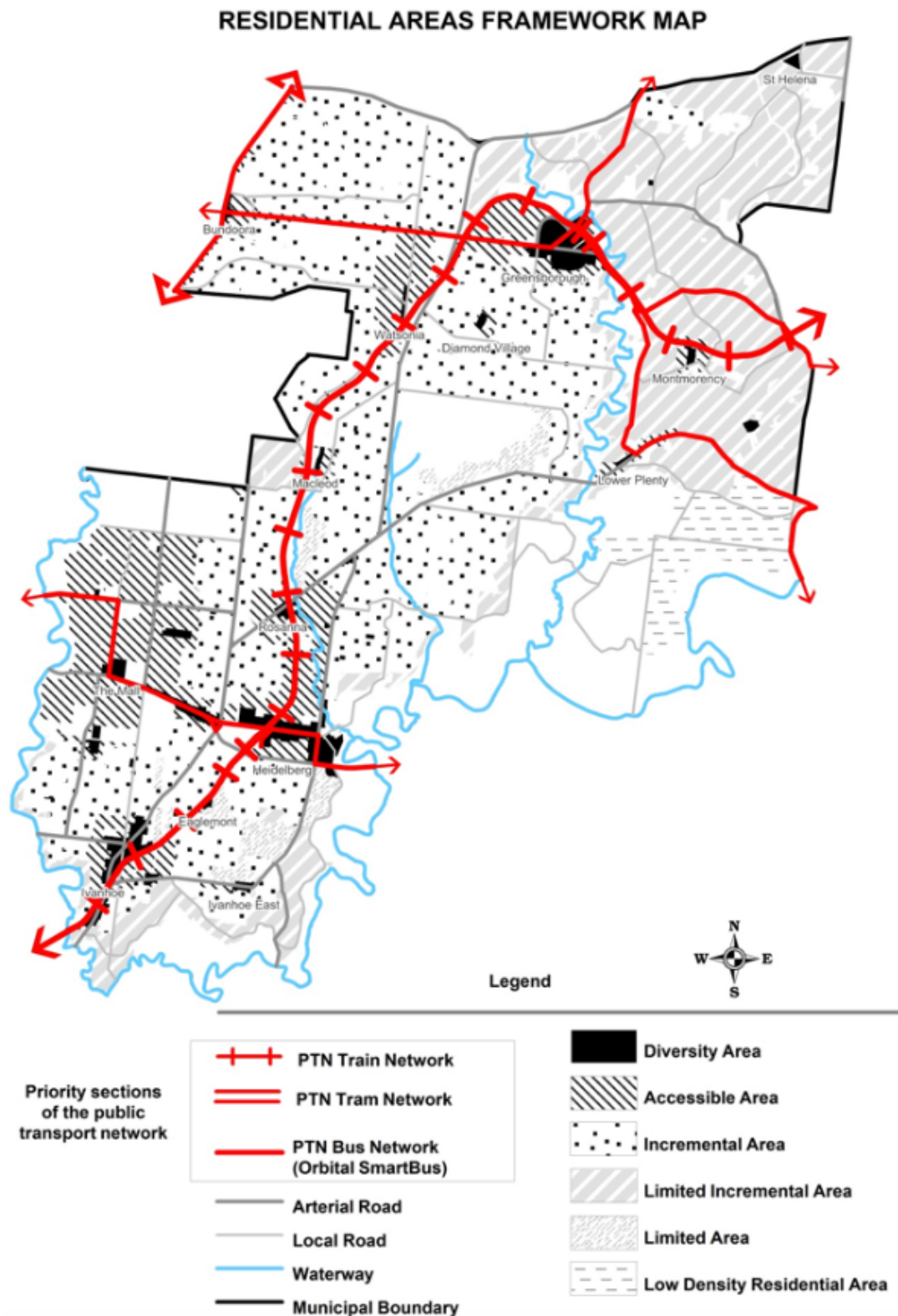
LPPF Clause	Analysis / Discussion
21.06 – BUILT ENVIRONMENT 21.06-1 – Objectives And Strategies 21.06-2 – Residential Areas Framework	<p>A range of objectives and strategies support improved housing design through varying degrees of housing change in activity centres and a desired future neighbourhood character for public housing areas and in areas located close to public transport, services and facilities.</p> <p>A range of different types of residential areas are described with a corresponding vision in the Residential Areas Framework and the accompanying map. Further strategic work identifies further opportunities to apply appropriate zones that encourage more growth in the accessible areas around activity areas.</p>
21.07 – TRANSPORT AND INFRASTRUCTURE 21.07-1 – Objectives And Strategies	<p>A range of objectives and strategies support improved accessibility and mobility as well as the integration of transport and land use with greater housing densities in and around</p>

	locations that offer greatest access to public transport.
22.02 – RESIDENTIAL NEIGHBOURHOOD CHARACTER POLICY	<p>The policy applies to land in the General Residential Zone but not the Residential Growth Zone.</p> <p>The Garden Suburban Precinct 2 and Garden Suburban Precinct 6 apply within the UDF area. They include a statement of preferred future neighbourhood character, what is expected within different zones and objectives and design responses for new development.</p>
22.05 – ENVIRONMENTALLY SUSTAINABLE DEVELOPMENT	<p>Th policy applies throughout the City of Banyule to residential and non-residential development that requires a planning permit with a range of different thresholds and requirements. This policy was set to expire on 30 June 2019 but was recently extended through Amendment GC131 until an equivalent provision is introduced into the VPP.</p>

2.5 Exhibited Statutory Planning Controls: August – November 2018

- 2.5.1 Banyule City Council exhibited Amendment C120 to their Planning Scheme by proposing a range of changes to the Banyule Planning Scheme for *Postcode 3081*. This was exhibited over the period 23 August – 2 November 2018.
- 2.5.2 The exhibited amendment proposed the following changes to the Planning Policy Framework as detailed in **Figure 5**:
- Revising Clause 21.06 Built Environment to identify *Postcode 3081* as a Diversity Area and the Hinterland areas as Accessible and Incremental Areas.
 - Revising Clause 21.08 Local Places by adding a new section for the *Postcode 3081* and including a new reference document titled *Postcode 3081 Urban Design Framework*.
 - Revising Clause 21.09 Reference Documents to include the new reference document titled *Postcode 3081 Urban Design Framework*.
 - Revising Clause 22.02 Residential Neighbourhood Character Policy by amending the objectives and design response table in Garden Suburban 2 and Garden Suburban 6 to reflect the design objectives to be achieved in *Postcode 3081*.

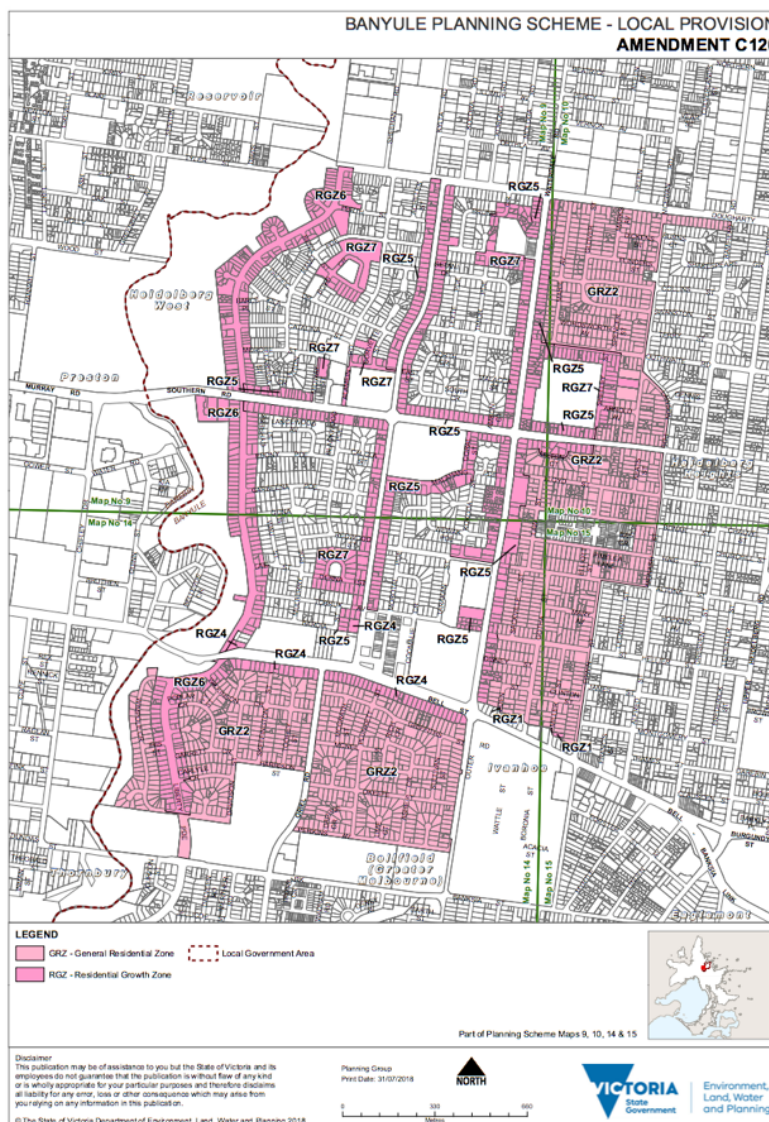
Figure 5: Amendment C120 – Proposed Local Planning Policy, Residential Areas Framework Map



2.5.3 The exhibited amendment proposed the following changes to the zones as detailed in **Figure 6**:

- Rezoning land in Area 1: Bell Street from GRZ1 (Accessible Areas and Ivanhoe Residential Diversity Areas) to RGZ4 (Postcode 3081 Urban Design Framework Areas Bell Street).
- Rezoning land in Area 2: Main Roads from GRZ1 (Accessible Areas and Ivanhoe Residential Diversity Areas) to RGZ5 (Postcode 3081 Urban Design Framework Areas Main Roads).
- Rezoning land in Area 3: Creekside from GRZ1 (Accessible Areas and Ivanhoe Residential Diversity Areas) to RGZ6 (Postcode 3081 Urban Design Framework Areas Creekside).
- Rezoning land in Area 4: Local Park Interfaces from GRZ1 (Accessible Areas and Ivanhoe Residential Diversity Areas) to RGZ7 (Postcode 3081 Urban Design Framework Areas Local Park Interfaces).
- Rezoning land to the south of Bell Street and east of Waterdale Road in Area 5 Hinterland from GRZ1 (Accessible Areas and Ivanhoe Residential Diversity Areas) to GRZ2 (Incremental Areas).

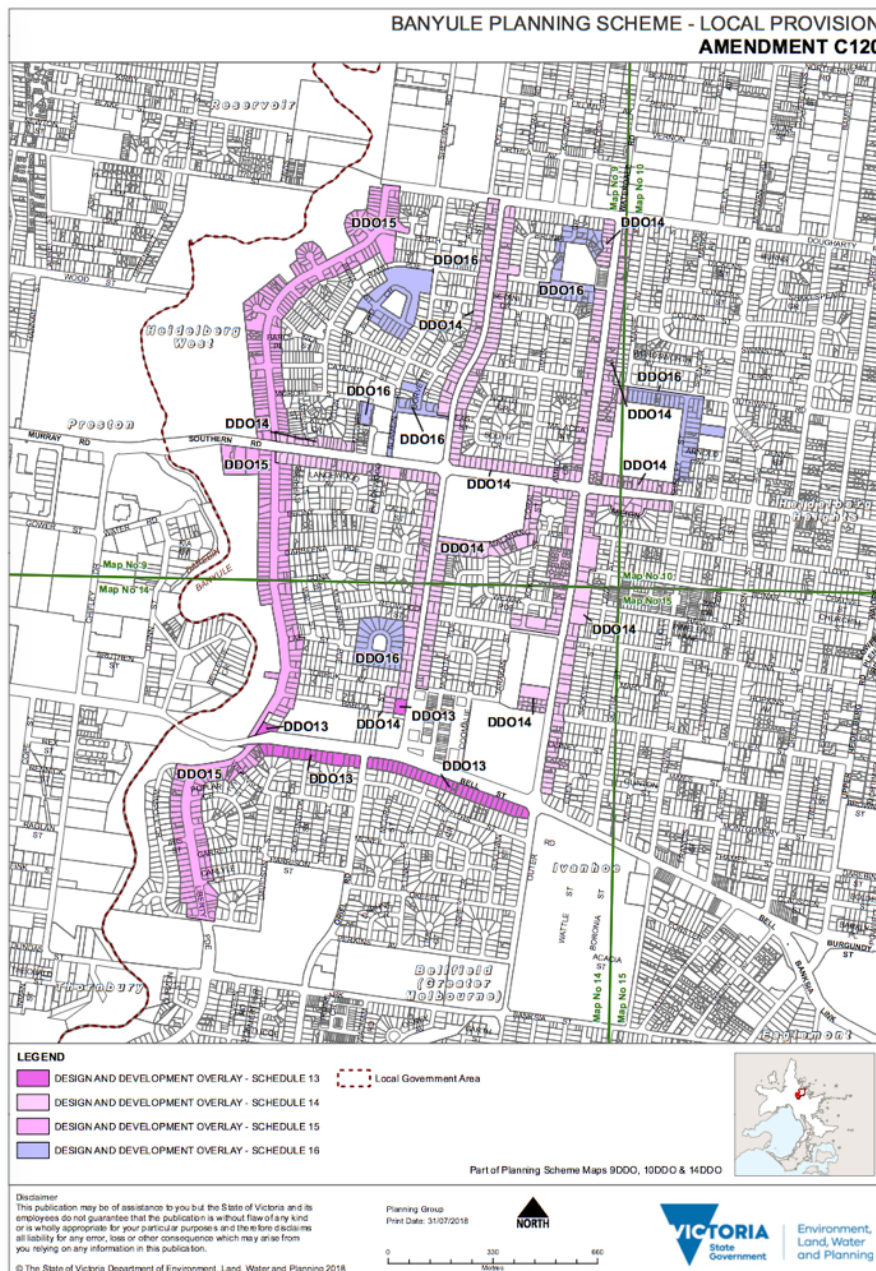
Figure 6: Amendment C120 – Proposed Zoning Map for Postcode 3081



2.5.4 The exhibited Amendment proposed the following changes to the overlays as detailed in **Figure 7**:

- Inserting a new Schedule 13 to the Design and Development Overlay (DDO) (Postcode 3081 Urban Design Framework Areas Bell Street) and applying to land in Area 1: Bell Street.
- Inserting a new Schedule 14 to the DDO (Postcode 3081 Urban Design Framework Areas Main Roads) and applying to land in Area 2: Main Roads.
- Inserting a new Schedule 15 to the DDO (Postcode 3081 Urban Design Framework Areas Creekside) and applying to land in Area 3: Creekside.
- Inserting a new Schedule 16 to the DDO (Postcode 3081 Urban Design Framework Areas Local Park Interfaces) and applying to land in Area 4: Local Park Interfaces.

Figure 7: Amendment C120 – Proposed Overlay Map for Postcode 3081



3 Council Resolution

3.1.1 As a result of the 50 submissions received and Council's consideration of the Amendment, Council resolved on 8 April 2019 to adopt Amendment C120 subject to a number of changes being made to Amendment C120 as detailed in the following resolution:

"That Council:

1. *Proceed with Amendment C120 in accordance with option 3 as outlined in this report including:*
2. *a) Minor changes to revise the application of zone and overlay controls.*
b) Minor changes to provide clarity within the zone and overlay controls.
c) Remove the proposed rezoning of the Hinterland Area and properties surrounding Narvik Reserve and Olympic Village Primary School. Zoning and height limits will remain as they currently are.
d) Reduce the proposed height limits for:
 - i. Properties along Malahang Parade and Coral Street, from six to four storeys.*
 - ii. The eastern side of the Creekside Area. Proposed height limits will be reduced from five to four storeys on the eastern side of Liberty Parade, except for sites at the corner of Liberty Parade and Bardia Street where height limits will remain at five storeys in accordance with 'Creekside Area Option B' outlined in this report.*
 - iii. Waterdale Road, between Altona Street and Bell Street. The height limit will be reduced from six to four storeys to ensure that the amenity of the surrounding low scale residential areas is protected.*
 - iv. The southern side of Local Park Interfaces at Buna Street and Ramu Parade from 4 to 3 storeys, to protect the amenity of the adjoining Hinterland Areas that are removed from main roads.*
- e) No changes to the controls for the Buna Street Site in accordance with 'Buna Street Option A', as outlined in this report.*
- f) Consequential revisions to the Municipal Strategic Statement and the Postcode 3081 Urban Design Framework.*
3. *Request that the Minister for Planning appoint a Planning Panel to consider any unresolved submissions to Amendment C120.*
4. *Advise the Planning Panel that Council would be sympathetic to considering potential increased heights in key strategic locations including:*
 - a) Wimpole Crescent and Webb Court from 3 to 5 storeys*
 - b) Oriel Road, between Bell Street and Perkins Avenue from 3 to 4 storeys*
 - c) Oriel Road, between Tobruk Avenue and Bardia Street from 5 to 6 storeys*
 - d) Outhwaite Road, between Waterdale Road and Shelley Street from 4 to 6 storeys*
 - e) Dougharty Road, between Waterdale Road and Bamfield Road from 3 to 4 storeys*
5. *Notes that additional areas within Postcode 3081 could be considered for rezoning to support increased densities, including:*
 - a) Dougharty Road, between Waterdale Road and Liberty Parade to increase height limits from 3 to 4 storeys*
 - b) The southern end of Midway Street to increase height limits from 3 to 5 storeys*
6. *Note that exhibition of Amendment C120 has now closed and no further submissions can be received.*
7. *Advocate to the State Government for additional services and facilities including public transport such as bus services in the short term, cycling corridors, and pedestrian paths within Postcode 3081 and the wider area in line with the expectations of the La Trobe National Employment and Innovation Cluster objectives and planning frameworks."*

3.1.2 Of the 50 submissions that were received to the exhibited Amendment during 23 August and 2 November 2018, 40 were opposed and 5 conditionally supported the Amendment.

- 3.1.3 With the post exhibition changes Amendment documentation exhibited during 30 May and 14 June 2019, 5 submissions were received with two new (additional) submissions. The total number of submissions received to the Amendment is 52.
- 3.1.4 The result is that some submissions have not being resolved through the changes that Council approved to the exhibited Amendment (known as the post exhibition changes). There are 7 submitters who requested to be heard by the Panel.
- 3.1.5 An assessment of the exhibited Amendment and post exhibition changes to the Amendment are outlined in section 4.
- 3.1.6 It is noted that under direction from Council, I was not requested to make any changes to the post exhibition amendment documentation to reflect items 4 and 5 of the Council resolution above. These matters constitute suggestions to the Panel from Council and do not form part of the post exhibition changes Amendment documentation that I have provided advice on.

4 Proposed Planning Controls - Post Council Resolution

4.1 Utilisation of Victoria Planning Provisions (VPP) in Amendment C120

4.1.1 The following instruments from the VPP were utilised in Amendment C120 by Council:

- The Local Planning Policy Framework (LPPF), which gives strategic directions for the implementation of the *Postcode 3081 Urban Design Framework* through a place-based approach.
- The Residential Growth Zone (RGZ) and four schedules which are differentiated by the area they are applied to with maximum building heights proposed for each area.
- The General Residential Zone (GRZ) for areas called 'Hinterland Areas' between the proposed areas of RGZ and GRZ2 Incremental Areas.
- The Design and Development Overlay (DDO) and four schedules which are differentiated by the area they are applied with preferred building setbacks and requirements proposed for each area.

4.1.2 Each RGZ area is paired with a corresponding DDO area to deliver design and built form outcomes that are specific for each of the four substantial change areas included in the UDF. No DDO was proposed for the GRZ area given that an 11 metre height limit exists in the GRZ parent provision.

4.1.3 The use of these VPP instruments is appropriate for Amendment C120 and continues to be so for the Amendment with post-exhibition changes following the Council resolution.

To most effectively implement the strategic directions of the UDF, post-exhibition changes were proposed and incorporated into the Amendment which are further discussed in sections 4.2 - 4.6.

4.2 Review and Redrafting of Amendment C120

4.2.1 The following changes formed the brief for the review and redrafting of the Amendment for Council and have formed the post-exhibition changes. These include changes outlined in the Council resolution on 8 April 2019, Council Report and recommended Option 3, and a briefing from Council officers on changes required. These high level issues or themes and the required changes are detailed in **Table 1**.

Table 1: Amendment C120 – Issue/Theme and Required Changes

Issue/Theme	Required Changes
Changes to the drafting of the Amendment	<p>Ensure the amendment conforms to the Ministerial Practice Note on the Form and Content of Planning Schemes. In particular:</p> <ul style="list-style-type: none"> • Review all the Schedules to ensure they conform to relevant Practice Note(s). • Removal of diagrams from Schedules. • Include a storeys reference in addition to height. • Change the Residential Growth Zone Schedule numbers as a result of Amendment C116 which inserted a new Schedule 4 into the Banyule Planning Scheme.
Consistency with the UDF	<p>Review the objectives of the Schedules to ensure they are consistent with the objectives of the UDF.</p> <p>Make recommendations for changes to the UDF to ensure consistency between the planning scheme controls and the UDF.</p>
Changes to height controls in a number of precincts and associated changes to the title and objectives	<p>Reduce the height limits in the following locations:</p> <ul style="list-style-type: none"> • Area 2 Main Roads: Malahang Parade and Coral Street: Reduce from 6 (21.5m) to 4 storeys (14.5m). • Area 2 Main Roads: Waterdale Rd between Alton Street and Bell Street: Reduce from 6 (21.5m) to 4 storeys (14.5m). • Area 3 Creekside: Eastern side of Creekside area on Liberty Pde except for corner with Bardia Street : Reduce from 5 storeys (18m) to 4 storeys (14.5m).
Removal of a number of properties from the Amendment	<p>Removal of the following properties from the Amendment:</p> <ul style="list-style-type: none"> • Hinterland to the east of Waterdale Road (was proposed to be rezoned from GRZ1 to GRZ2). • Hinterland to the south of Bell Street (was proposed to be rezoned from GRZ1 to GRZ2). • Narvik Reserve and Olympic Village Primary School (was proposed to be rezoned from GRZ1 to RGZ7). • Southern side of the local park interfaces at Buna Street and Ramu Pde (was proposed to be rezoned from GRZ1 to RGZ7).

4.2.2 The changes required as a result of the Council resolution on 8 April 2019 and Amendment C116 have resulted in the Amendment being changed with schedule numbers revised, some schedule headings revised and one additional DDO included. The post exhibition renumbering of schedules and tracking of those changes are detailed in **Table 2**.

Table 2: Amendment C120 – Post Exhibition Schedule Renumbering

Area	Exhibited RGZ Schedule No.	Post Exhibition RGZ Schedule No.	Exhibited DDO Schedule No.	Post Exhibition Schedule No.
Bell Street	RGZ4	RGZ5	DDO13	DDO13
Main Roads	RGZ5	RGZ6 (except for east side Waterdale Road between Bell and Altona Streets)	DDO14	DDO14
Creekside	RGZ6 (west)	RGZ7 (west side only)	DDO15	DDO15 (west side only) <i>Renamed Creekside West</i>
	RGZ6 (east)	New RGZ9	Exhibited as part of DDO15	New DDO17 <i>Named Creekside East</i>
Local Park Interface	RGZ7	RGZ8 (including Main Roads properties on the east side of Waterdale Road between Bell and Altona Streets and properties along the south side of Malahang Parade and east side of Coral Street) <i>Renamed Local Park and Main Roads Hinterland Interfaces</i>	DDO16	DDO16

4.2.3 The following table shown at **Table 3** outlines the zone, overlay and height controls included in the Amendment C120 as exhibited and the post-exhibition changes to the Amendment following the analysis of submissions and the Council resolution in relation to the exhibited Amendment.

Table 3: Amendment C120 – Summary of Planning Controls for Exhibited Amendment and Proposed Changes

Exhibited Amendment						Council Resolution	Proposed Changes or Additions				
Area	Address	Zone	Height	Overlay	Setbacks		Zone	Height	Overlay	Setbacks	Notes
Area 1: Bell Street	Bell Street	RGZ4	18m (5 storeys)	DDO13	Front: 3m Rear: 6m Side: 4.5m		RGZ5			Front: 3m Rear: 6m + 1m for each metre of height above 10.9m Side: 4.5m to habitable windows, 0m on boundary	Schedule number changed to RGZ5, height identical and additional setbacks.
Area 2: Main Roads		RGZ5	21.5m (6 storeys)	DDO14	Front: 4m + 3 metres above 3 storeys + 3m above 5 storeys Rear: 6m Side: 2m From common boundary with park 3m		RGZ6			Front: 4 m + 3m above 3 storeys + 3m above 5 storeys Rear: 6m + 1m for each metre of height above 10.9m or if shares boundary with a park, 3m Side: 2m plus 1 m for each metre of height above 3 storeys	Schedule number changed to RGZ6, height identical and additional setbacks other than mentioned below.
	Malahang Parade and Coral Street	RGZ5	21.5m (6 storeys)	DDO14		Reduce from 21.5 m (6 storeys) to 14.5 m (4 storeys)	RGZ8	Reduce from 21.5m (6 storeys) to 14.5m (4 storeys)		Front: 4 m + 3m above 3 storeys + 3m above 5 storeys Rear: 6m + 1m for each metre of height above 10.9m or if shares boundary with a park, 3m Side: 2m plus 1 m for each metre of height above 3 storeys	Schedule number changed to RGZ8 (Renamed Local Park and Main Roads Hinterland Interface), height changed to 4 storeys.
	Waterdale between Altona Street and Bell Street	RGZ5	21.5m (6 storeys)	DDO14		Reduce from 21.5 m (6 storeys) to 14.5 m (4 storeys)	RGZ8	Reduce from 21.5m (6 storeys) to 14.5m		Front: 4 m + 3m above 3 storeys + 3m above 5 storeys Rear: 6m + 1m for each metre of height above 10.9m or if shares boundary with a park, 3m	Schedule number changed to RGZ8 (Renamed Local Park and Main Roads Hinterland Interface), height

Exhibited Amendment						Council Resolution	Proposed Changes or Additions				
Area	Address	Zone	Height	Overlay	Setbacks		Zone	Height	Overlay	Setbacks	Notes
								(4 storeys)		Side: 2m plus 1 m for each metre of height above 3 storeys	changed to 4 storeys.
Area 3: Creekside		RGZ6	18m (5 storeys)	DDO15	Front: 4m + 3m above 3 storeys Rear: 6m Side: 2m From common boundary with park 3m		RGZ7			Front: 4m + 3 m above 3 storeys Rear: 3 m where there is a direct interface with the creek reserve + above 3 storeys a setback of 4m from the building line ; 6m if there is no interface with the creek reserve + 1 m for each metre of height above 10.9m Side: 2m or 3 m where two or more lots are consolidated + 1m for each metre of height above 3 storeys	Schedule number changed to RGZ5 (Renamed Creekside West), height identical and additional setbacks.
	Eastern side of Creekside area on Liberty Parade except for corner Liberty Parade and Bardia Street	RGZ6	18m (5 storeys)	DDO15	Front: 4m + 3m above 3 storeys Rear: 6m Side: 2m From common boundary with park 3m	Reduce from 18m (5 storeys) to 14.5m (4 storeys)	RGZ9	Reduce from 18m (5 storeys) to 14.5m (4 storeys)	DDO17	Front: 4 m + 3m above 3 storeys Rear: 6m + 1m for each metre of height above 10.9m Side: 2m + 1m for each metre of height above 3 storeys	Schedule number changed to RGZ9 (Renamed Creekside East), additional setbacks and height changed to 4 storeys. Moved from DDO15 to DDO17.
Area 4: Local Park Interface		RGZ7	14.5m (4 storeys)	DDO16	Front: 4m + 3m above 3 storeys Rear: 6m		RGZ8			Front: 4m + 3m above 3 storeys	Schedule number changed to RGZ8, height identical

Exhibited Amendment						Council Resolution	Proposed Changes or Additions				
Area	Address	Zone	Height	Overlay	Setbacks		Zone	Height	Overlay	Setbacks	Notes
					Side: 2m From common boundary with park 3m					Rear: 6m + 1m for every metre of height over 10.9 m or where a building shares a boundary with a park, 3m Side: 2m + 1m for each metre of height above 3 storeys	and additional setbacks other than mentioned below.
	Narvik Reserve and Olympic Village Primary School	RGZ7	14.5m (4 storeys)	DDO16	Front: 4m + 3m above 3 storeys Rear: 6m Side: 2m From common boundary with park 3m	11m (Reduce from 4 to 3 storeys)	GRZ1	11m (Reduce from 4 to 3 storeys)		As per GRZ and Clause 54/55	Remove from RGZ7 and remain in GRZ1 (removed from Amendment).
	Southern side of local park interfaces at Buna Street and Ramu Parade	RGZ7	14.5m (4 storeys)	DDO16	Front: 4m + 3m above 3 storeys Rear: 6m Side: 2m From common boundary with park 3m	11m (Reduce from 4 to 3 storeys)	GRZ1	11m (Reduce from 4 to 3 storeys)		As per GRZ and Clause 54/55	Remove from RGZ7 and remain in GRZ1 (removed from Amendment).
Area 5: Hinterland	East of Waterdale Road	GRZ2	11m (3 storeys)				GRZ1			As per GRZ and Clause 54/55	Remove from GRZ2 and remain in GRZ1 (removed from Amendment).
	South of Bell	GRZ2	11m (3 storeys)				GRZ1			As per GRZ and Clause 54/55	Remove from GRZ2 and remain in GRZ1 (removed from Amendment).

4.3 Summary of Proposed Changes

- 4.3.1 The following aspects of the revised provisions for Amendment C120 known as the post exhibition changes are detailed below and included in **Appendix A** and shown in **Figures 8 and 9**.

4.4 Planning Policy Framework (PPF)

- 4.4.1 Specific changes undertaken to the Municipal Strategic Statement (MSS) provisions include the following:

- The Postcode 3081 UDF included as a reference document to Clause 21.08.
- A statement of preferred character relating to the UDF design guidelines for GRZ1 Hinterland areas.
- Vision statements for the UDF areas have been revised to better implement the intent of the UDF.

4.5 Residential Growth Zone (RGZ)

- 4.5.1 Specific changes undertaken to the RGZ schedules include the following:

- Design objectives have been simplified and reworded and more clearly aligned to the design objectives included for each area in the UDF.
- A limit on the number of storeys has been included in addition to the height in metres (advisory text in the *Ministerial Direction on the Form and Content of Planning Schemes* is not mandatory and including the number of storeys is the clearest way to ensure an effective height limit which cannot be exceeded).
- In the decision guidelines, cross reference to the relevant DDO Schedule has been removed as this is superfluous but reference to the objectives, strategies and guidelines of the UDF has been included.
- General wording, format and drafting corrections have been made to ensure that the schedule is consistent with the template included in the *Ministerial Direction on the Form and Content of Planning Schemes*.

4.6 Design and Development Overlay (DDO)

- 4.6.1 Specific changes undertaken to the DDO schedules include the following:

- Design objectives have been simplified and reworded with at most five objectives retained. Objectives more clearly align to the design objectives included for each area in the *Postcode 3081 UDF* reflecting anticipated development outcomes for each area and more generic to UDF themes where they are specific to a place based outcome.
- Land use issues have been removed from the objectives as have outcomes for land not subject to the DDO.
- Requirements have been revised to be measurable to help to determine a clearly defined building envelope.
- Side and rear setbacks in Table 1 of each DDO have been corrected and redrafted.
- References to building setbacks is only included in Table 1 of each DDO and there is no reference to building height.
- Cross referencing to the RGZ schedule in the requirements section has been removed.

- Area diagrams from the UDF have been removed and will remain in the UDF for guidance to applicants and the community.
- In the decision guidelines, reference has been made to the objectives, strategies and guidelines of the UDF.
- General wording, format and drafting corrections have been made to ensure that the schedule is consistent with the template included in the *Ministerial Direction on the Form and Content of Planning Schemes*.

Figure 8: Amendment C120 – Post Exhibition Changes: Proposed Zone Map for Postcode 3081

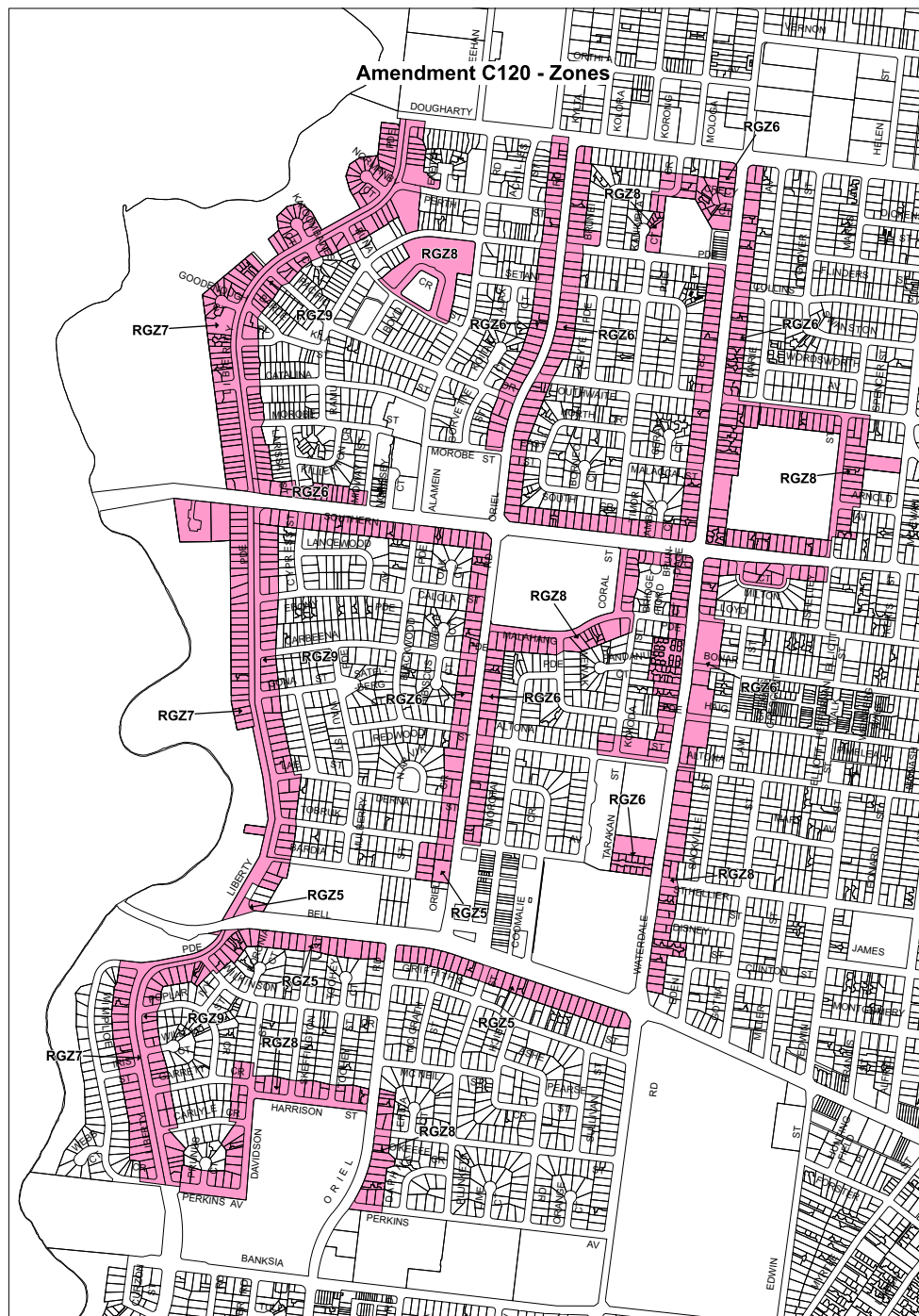


Figure 9: Amendment C120 – Post Exhibition Changes: Proposed Overlay Map for Postcode 3081



5 Response to Submissions to Amendment

5.1 Exhibited Amendment C120 and Submissions

5.1.1 Amendment C120 was exhibited by Council from 23 August – 2 November 2018 and a total of 50 submissions were received. There were 10 submissions of support or that conditionally supported the Amendment and 40 that opposed the Amendment on the grounds of (in summary):

- Impacts on character and amenity.
- Impacts related to overlooking, over-shadowing and over-development.
- Availability of public transport.
- Traffic and car parking.
- Provision of infrastructure and services.
- Decreased development potential in areas proposed to be rezoned to GRZ2.

5.1.2 In Council's consideration of the submissions to Amendment C120 and in its resolution of 8 April 2019, changes were made to aspects of the Amendment which have been described earlier in this statement. It is considered that many of the issues raised in submissions, particularly in relation to impacts on character and amenity and decreased development potential have been addressed by changes to the Amendment in the post exhibition changes to the provisions.

5.1.3 Applying 4 storey maximum building heights to the east side of Waterdale Road south of Altona Street through RGZ8 and to the Creekside East area through RGZ9 and removal of the GRZ2 from the Hinterland Areas, appears to have resolved a number of submissions. However, there may still be outstanding issues for some submitters associated with proposed residential intensification and increased building heights in some of the remaining renewal areas.

5.2 Post Exhibition Changes to Amendment C120 and Submissions

5.2.1 Following the Directions Hearing on 23 May 2019, Council provided revised Amendment documentation, through proposed post-exhibition changes to the Amendment, reflecting Council's position it would take to the Panel. These provisions are included at **Appendix A**.

5.2.2 Council undertook widespread consultation for the Amendment of the post-exhibition changes to all original submitters to the exhibited Amendment and owners and tenants of land identified by the Panel at the Directions Hearing. Opportunity was given between 30 May and 14 June 2019 to make a submission to the Amendment. Five submissions were received to the Amendment, with 2 new submissions and 3 received from existing submitters. Of those two new submissions, one was opposed and the other was in support. There are still outstanding issues in the original and new submissions received about proposed residential intensification, impacts on infrastructure, traffic and car parking and increased building heights still concerning some submitters.

5.2.3 In terms of further changes that could be made to the Amendment to resolve submissions, it is unlikely that further substantial changes could be made to the Amendment that would satisfy opposing submitters concerns without transforming the Amendment and compromising its strategic basis from the UDF. This excludes the suggestions from the Department of Transport that could be accommodated in as revised design objectives within the UDF.

6 Conclusion

- 6.1.1 Amendment C120 to the Banyule Planning Scheme implements the *Postcode 3081 Urban Design Framework* (UDF) and aims to guide urban development in *Postcode 3081* to 2050.
- 6.1.2 The planning scheme amendment to implement the UDF was exhibited between 23 August and 2 November 2018 and 50 submissions were received by Banyule City Council. Council considered the submissions to the Amendment on 8 April 2019 and resolved to proceed with the Amendment subject to a range of changes in response to submissions and its assessment.
- 6.1.3 As required by the Panel, notification of the post exhibition changes for the Amendment occurred during 30 May and 14 June 2019. In response, 5 submissions were received with two new submissions (additional submissions).
- 6.1.4 Strategic and statutory planning advice was provided by Plan2Place Consulting to Council recommending review, simplification and redrafting of Amendment C120 in accordance with the Council resolution of 8 April 2019. Plan2Place Consulting provided a set of planning provisions called the post-exhibition changes to the Amendment. These are outlined in **Appendix A**.
- 6.1.5 It is my opinion that the post exhibition changes to Amendment C120 represent an acceptable response to the submissions that have been received and effective implementation of the UDF into the Banyule Planning Scheme. The Amendment makes propose use of the VPP and *Ministerial Direction on the Form and Content of Planning Schemes* and is consistent with State and local planning policy/provisions.
- 6.1.6 The post-exhibition changes to the Amendment were prepared to assist Council, submitters and the Planning Panel in the further consideration of issues related to the Amendment at the Panel hearing and incorporate the opinion in this evidence statement.

7 Declaration

- 7.1.1 I have made all the inquiries that I believe are desirable and appropriate and no matters of significance which I regard as relevant have to my knowledge been withheld from the Panel.

A handwritten signature in black ink that reads "Paul Buxton". The signature is written in a cursive, flowing style.

Paul Buxton
Director
Plan2Place Consulting

Appendix A Revised Amendment documentation

Peer Review of Amendment C120 Documentation (Suggested Revisions) Proposed Post-Exhibition Changes (Plan2Place Consulting, 30 May 2019)

BANYULE PLANNING SCHEME

- Encourage development that is designed to promote social interaction and activity, including adaptable housing to suit particular needs of the local community.
- Encourage higher density developments to enable the greening of buildings and spaces by integrating vegetation into the design of facades, rooftops and spaces

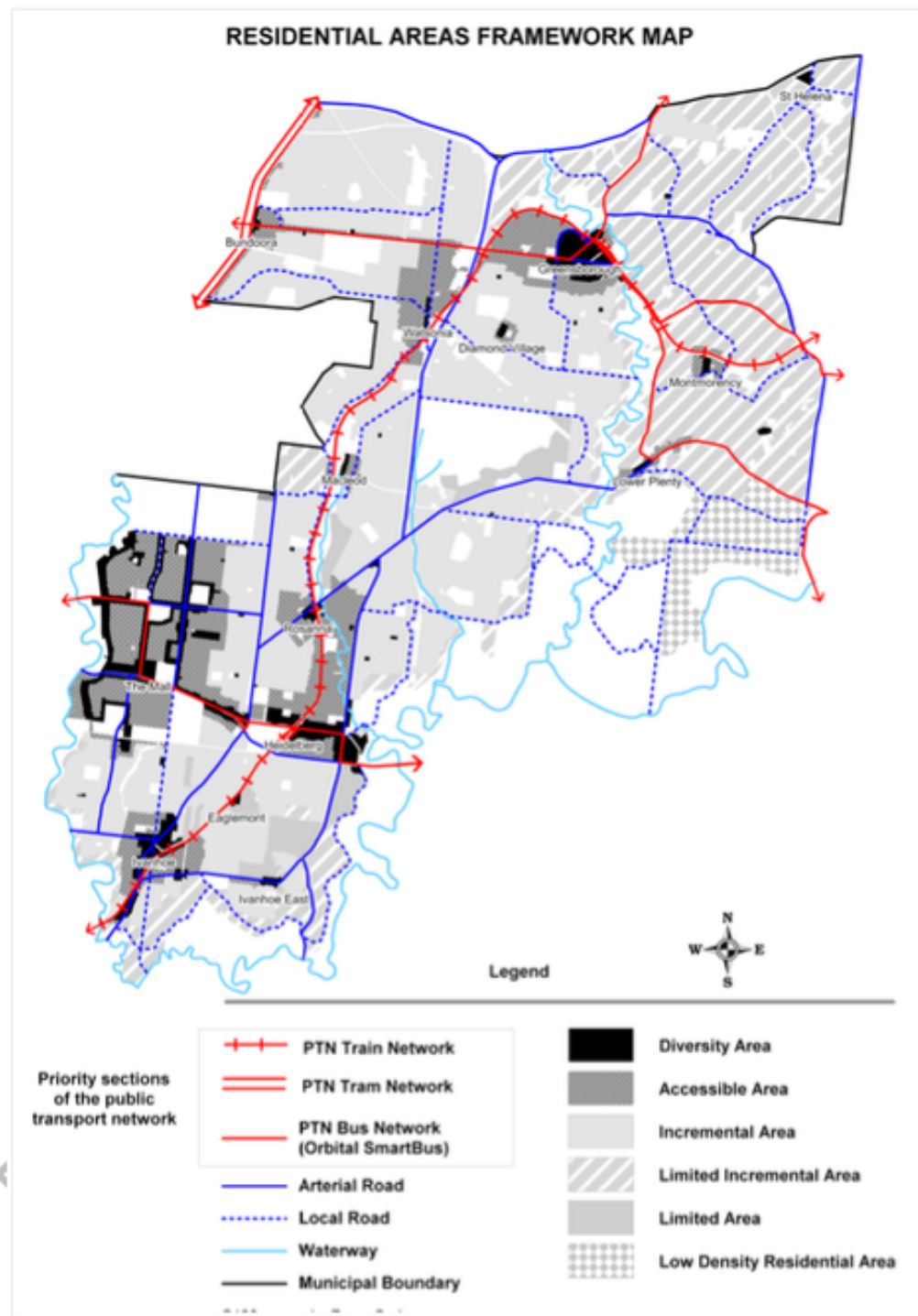
21.06-2 Residential Areas Framework

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The following table provides guidelines to all forms of residential development. The Residential Areas referred to in the table are represented indicatively on the Residential Areas Framework Map. These guidelines are intended to be applied having regard to all relevant circumstances, including location, desired future neighbourhood character, site size and the varying degrees of housing change represented on the indicative map.

Residential area	Vision
Diversity	<p>These areas typically have the following characteristics:</p> <ul style="list-style-type: none">▪ Within the business core of an Activity Centre or Neighbourhood Centre.▪ Some residential properties along streets that immediately surround the business core of an Activity Centre or Neighbourhood Centre. <p>They will provide for shop-top and apartment living in higher density mixed use and residential developments. These areas include strategic redevelopment sites that provide for higher density housing.</p> <p>Development will make a positive contribution to the identity of the Activity Centre, or Neighbourhood Centre <u>or urban renewal area</u> and the desired future character of surrounding residential neighbourhoods.</p> <p>In these areas people live close to train stations, transport interchanges, shops, services and nodes of employment. These areas include higher density and some medium housing opportunities.</p> <p><u>Postcode 3081 Urban Design Framework Diversity Areas</u></p> <p><u>Postcode 3081 is renewing. Properties along main roads, along the creekside area at interfaces with parks and close to the Bell Street Mall and Olympic Village are well located to support increased density on consolidated lots.</u></p>
Accessible	<p>These areas typically have the following characteristics:</p> <ul style="list-style-type: none">▪ Within convenient walking distance to the business core of an Activity Centre or Neighbourhood Centre.▪ Are within convenient walking distance to the highest priority sections of the Principal Public Transport Network where higher frequency and quality of public transport services in operation. <p>They will provide town house and other medium density living and some dispersed single dwellings. Some opportunities for higher density housing will also exist. These areas include strategic redevelopment sites that provide for medium density and a higher density housing component.</p> <p>Development must make a positive contribution to the desired future neighbourhood character, including opportunities for tree protection and planting.</p> <p>These areas also include:</p>

Residential area	Vision
	<p>Postcode 3081 Urban Design Framework Heidelberg-West Hinterland Area</p> <p>Heidelberg-West</p> <p>The Postcode 3081 Heidelberg-West-Hinterland area will provide well designed redevelopment opportunities for medium density dwellings within a treed landscape setting. Heidelberg-West is renewing. Public housing sites will provide well-designed redevelopment opportunities. — A new desired future neighbourhood character will support development opportunities at with a focus on Olympic Village, Bell Street Mall, public housing sites and larger properties, where there may be higher density opportunities as well.</p>
	<p>East of the Plenty River (around the business core of Neighbourhood Centres)</p> <p>The residential area east of the Plenty River will continue to be characterised by tall trees, undulating landscapes and 2 storey dwellings that sit below the tree canopy. Town house and unit development will protect and enhance the vegetated character of the area.</p> <hr/> <p>Incremental</p> <p>These areas are typically located further away from Activity Centres and the Principal Public Transport Network, where there is less convenient pedestrian access.</p> <p>They will provide for well designed single dwellings and medium density dwellings. As an exception, there will be limited opportunities for higher density housing at well located, large strategic redevelopment sites only. Typical attributes of a strategic redevelopment site in this area are:</p> <ul style="list-style-type: none"> ▪ Fronting an arterial road that forms part of the Principal Public Transport Network that is in operation. <p>or</p> <ul style="list-style-type: none"> ▪ Within 5 minute walking distance (approximately 400 metres) to a Supermarket. <p>or</p> <ul style="list-style-type: none"> ▪ Within 5 minute walking distance (approximately 400 metres) of a regional employment or education facility, such as a large public hospital, technology park, university or TAFE. ▪ Large enough to make a significant contribution to the provision of a diversity of housing types in the area and space for the following: <ul style="list-style-type: none"> • Buildings and open spaces that provide a transition between abutting dwellings and any taller on-site building component. • Landscaping, including the planting of substantial trees, at streetscapes, boundaries and between buildings. <p>Development must make a positive contribution to the desired future neighbourhood character, including opportunities for tree protection and planting.</p> <hr/> <p>Limited Incremental</p> <p>These are located east of the Plenty River. They are characterised by tall trees, undulating topography and two storey dwellings that sit below the tree canopy.</p>



Note: This map shows the indicative location of the Residential Areas described in the Residential Areas Framework.

21.08-4 Postcode 3081 Urban Design Framework AreaDD/MM/YYYY
Y
C120**Overview General**

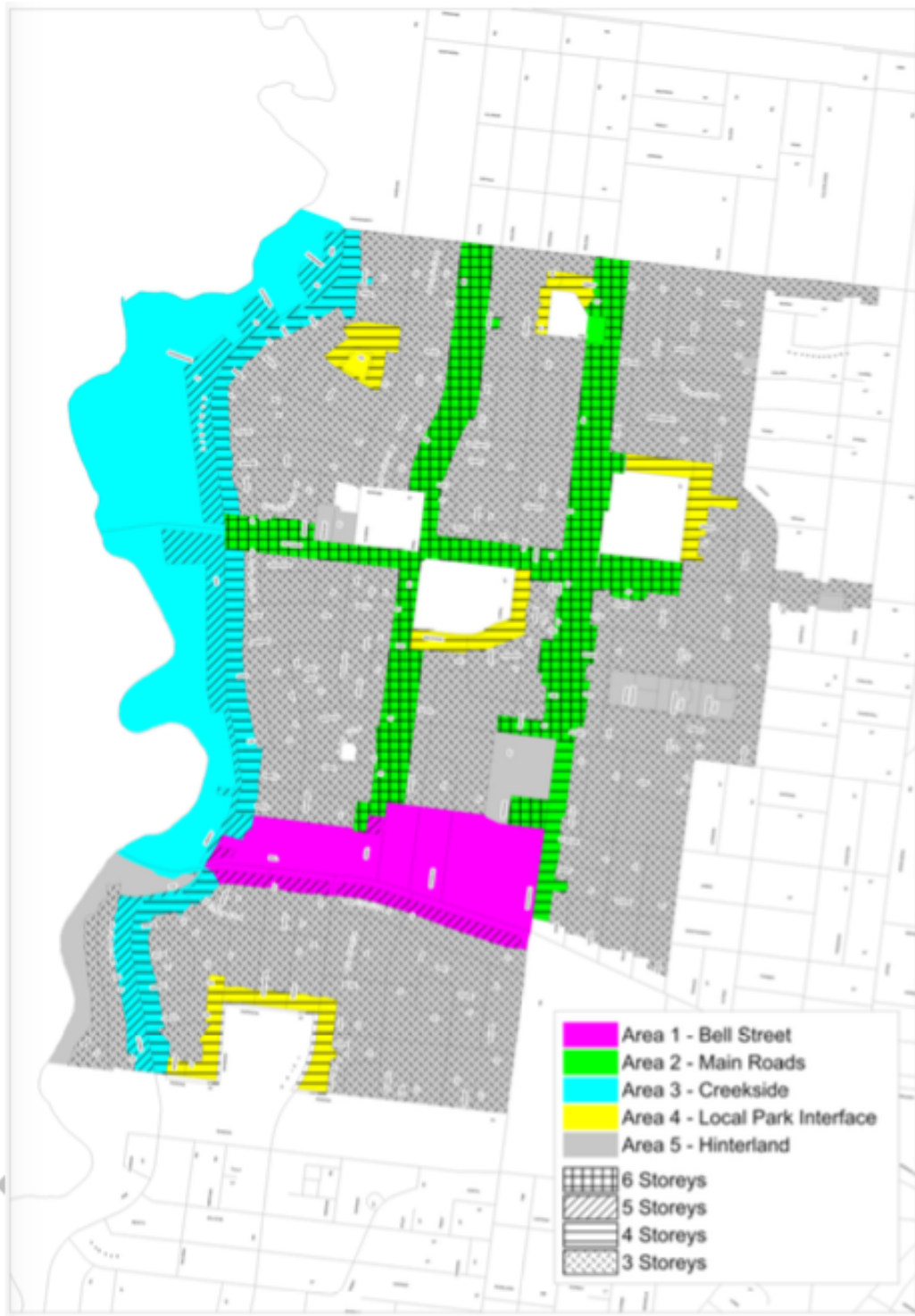
The Postcode 3081 Urban Design Framework includes the suburbs of Heidelberg West, Heidelberg Heights and Bellfield and extends to the Darebin Creek in the west. To the south it extends to the southern side of Bell Street, and to the east it generally extends to the eastern side of Waterdale Road.

Plan Melbourne 2017-2050 has identified Postcode 3081 as part of the Latrobe National Employment and Innovation Cluster, where housing renewal and improved diversity is needed to support expanded job opportunities and employment growth.

The Urban Design Framework (UDF) for the Postcode 3081 will help guide the appropriate built and landscape form outcomes for housing change and the area's future identity with a focus on urban renewal along major roads, around centres and at interfaces with parks.

Precincts

Five future areas have been identified in the Postcode 3081 Urban Design Framework (see Map 1 Postcode 3081 Urban Design Framework Plan for area boundaries).



Overall Vision

Postcode 3081 comprising the suburbs of Heidelberg West, Bellfield and Heidelberg Heights will be a model balanced community featuring innovative and affordable medium density housing. It will be known for its social cohesion and attractively treed streetscapes.

Future Diversity Area Visions

The following character area based visions are also relevant:

Area 1 Bell Street	<p>The Bell Street Area will be a mixed-use area that capitalises on its access to public transport, shops and services. A higher-density built form will assist in creating a boulevard character along this wide road, and act as a gateway to Postcode 3081 from the south. New development will improve the streetscape environment through a well defined street wall, a landscaped frontage and high quality development with vehicular access encouraged from adjacent side streets. The Bell Street Area consists of the residential frontage to Bell Street, including a one lot depth on the northern and southern sides, between Waterdale Road and Liberty Parade.</p> <p>The existing character is generally quite mixed and provides an opportunity for higher density mixed use development that responds to the boulevard character of Bell Street and its access to public transport, shops and services.</p>
Area 2 Main Roads	<p>The Main Roads Area of Oriel, Southern and Waterdale Roads will provide for higher density housing development that capitalises on access to public transport, proximity to activity centres and services. Good proximity to large open spaces provides housing opportunities that will improve amenity and passive surveillance through better park and housing interfaces. The suburb will be more legible through increased building height and high-quality development along main roads designed to minimise the visual impacts of upper levels. Oriel, Southern and Waterdale Roads have been identified as key north-south and east-west roads that function as the main arterials through the Study Area.</p> <p>The main roads have been identified as a primary opportunity for future increased higher density housing because they offer the best access to public transport and proximity to Activity Centres and services. The Main Roads also include frontages to larger open space areas within the Study Area which provides an opportunity for higher density housing with improved amenity from the open space frontage and contribute to passive surveillance of the open space.</p>
Area 3 Creekside	<p>The Creekside Area will form a corridor of mid-rise housing development along the Darebin Creek capitalising on access to the open space asset. The interface to the creek will be activated and enhanced visual and physical links to the creek open space will be provided. Development will be designed to complement and enhance the creek environment through appropriate setbacks, materials and edge treatments. The Creekside area includes significant frontage to Darebin Creek and has been identified as an area for increased higher density housing due to its access to open space and the Darebin Creek.</p> <p>The Darebin Creek is an asset that could be more highly utilised through urban renewal along its edge and with</p>

	opportunities for a more activated interface overlooking the creek environs.
Area 4 Local Park Interface	<p>The Local Park Interface Area will provide mid-rise housing that capitalises on the location adjacent to parklands and provides a transition to residential hinterland areas behind. Development will be designed to improve the interfaces with parklands and enhance the amenity of public open spaces. The Local Park Interface area includes lots surrounding smaller open spaces in the UDF study area. These areas have increased mid-rise density built form opportunities due to the interface with local parks.</p> <p>A balance must be struck between responding to the open space and density opportunities whilst ensuring the residential hinterland retains its character and amenity.</p>
Area 5 Hinterland	<p>The Hinterland Area will continue to maintain a low-rise character of low scale dwellings with generous landscaping in the private and public realms. Building form, height and scale of new development will continue to respect the character of adjoining properties, enhancing a cohesive residential area. The Hinterland area will continue to maintain a low-rise character building form, height and scale that is respectful to adjoining areas which generally consists of a low scale detached residential character with generous landscaping in the private and public realm.</p> <p>The hinterland areas will remain within its current General Residential zoning. This will provide for a preferred future neighbourhood character that supports suburban renewal guided by Clauses 21.06, 22.02 and VP05.</p>

Overall Objectives and Strategies

Objectives

General

- To encourage urban renewal whilst responding sensitively to existing and surrounding neighbourhood character.
- To encourage site consolidation to enable preferred scale and dwelling form outcomes and to improve housing diversity and facilitate high quality development.
- To discourage the underdevelopment of land by not permitting dwellings or entrenching uses that are inconsistent with the preferred scale and dwelling form identified in this schedule.

- To support well designed cohousing and provide housing options for all residents' needs and lifestyles.
- To create a new high density and mid-rise built form identity along arterial and other main roads around centres and at interfaces with parks with treed landscapes.
- To ensure the scale and form of higher density housing complements the existing character and responds to local natural attributes and landscape opportunities.
- To protect existing trees within the public realm and ensure landscape design enhances the preferred future character to be created and integrates development with its surroundings.
- To establish a cohesive and contemporary architectural character that responds to the natural creek environment and treed character of the suburb.
- To create an inviting, safe and vibrant public realm.
- To maintain good solar access to key pedestrian streets in addition to existing and proposed public open space.
- To ensure buildings are of a high quality design and construction that include the use of natural materials and colours of muted tones that blend in with the surrounding environment.
- To maintain the low-rise character building form, height and scale of the Hinterland areas.

Area 1 Bell Street

- To encourage higher density mixed use development that responds to the boulevard character of Bell Street and its access to public transport, shops and services.
- To improve the streetscape environment of Bell Street.

Area 2 Main Roads

- To enhance legibility by increasing height along main roads.
- To ensure that upper levels visually recede.

Area 3 Creekside

- To encourage increased density to activate the Creekside environment.
- To provide a visual link from the creek to the residential hinterland.

Area 4 Local Park Interfaces

- To encourage increased density to protect and enhance the amenity of existing public open spaces.

Area 5 Hinterland

- To ensure development respects the existing character and responds to the grain and rhythm and of the existing dwellings.
- To respond to the existing landscape character and provide for tree planting and protection that adds to the landscape setting of the neighbourhood.

Strategies

- Encourage consolidation of lots to enable preferred scale and dwelling form outcomes and facilitate higher quality development through increased side setbacks and heights to enable more efficient use of land in Areas 1-4.
- Ensure a green zone at the rear of lots to retain existing trees, provide for tree planting at the rear of developments in Areas 1 to 4 and maintain backyard character.
- Provide a landscaped front setback to respond to the existing treed streetscape character and protect existing trees and root protection zones in Areas 1-4.
- Ensure breaks between built form to allow landscaping and amenity through side setbacks in Areas 1-4.
- Promote highly modulated built form that responds to the existing domestic scale in Areas 1-4.
- Ensure medium density development provides a site coverage and tree planting outcome that make a positive contribution to the desired future neighbourhood character in Area 5 Heidelberg Heights and Bellfield.

21.08-4

Reference documents

Banyule Heritage Places Study (July 1999)
Ivanhoe Structure Plan, 2012 (Revised December 2014)
Ivanhoe Activity Centre Heritage Items and Precincts, Context, 2013
Heidelberg Structure Plan (2007)
Greensborough Activity Centre – Urban and Landscape Design Guidelines for Precincts 2, 5 and 6 (November 2015)
Postcode 3081 Urban Design Framework (~~2018~~2019)

AS 4970-2009 Protection of trees on development sites
Banyule Weed Management Strategy (2006).
Advisory List of Rare or Threatened Plants in Victoria, DSE 2005.
Construction Techniques for Sediment Pollution (Environment Protection Authority, 1990)
Environmental Guidelines for Major Construction Sites (Environment Protection Authority, 1996)
Urban Design Guidelines for Ivanhoe Shopping Centre (April 2002)
Design and Development Guidelines - 11 Casey Crescent, Viewbank (2002)
Design and Development Guidelines - 30-80 Seymour Road, Viewbank (2003)
Banyule City Council Strategy for Substantial Tree's in Banyule's Garden Court and Garden Suburban Neighbourhoods (2013)
BESS (Built Environment Sustainability Scorecard) bess.net.au, Council Alliance for a Sustainable Built Environment (CASBE), 2015
Green Star, Green Building Council of Australia www.gbca.com.au
Guide for Best Practise for Waste Management in Multi-Unit Developments, Sustainability Victoria, 2010
Nationwide House Energy Rating Scheme (NatHERS), Department of Climate Change and Energy Efficiency, www.nathers.gov.au
STORM, Melbourne Water, www.storm.melbournewater.com.au
Urban Stormwater Best Practice Guidelines, CSIRO, 2006.

21.09-8 Transport (clause 21.07)

21/12/2017
C108

Banyule City Council: Local Area Traffic Management Strategy (February 2000)
Banyule City Council Municipal Bicycle Strategic Statement (1996)
Banyule City Council: Road Safety Strategy (August 2000)
City of Banyule Economic and Transport Profile (September 1996)
North Eastern Metropolitan Regional Roads Strategy (March 1997)
Banyule Integrated Transport Plan 2015-2035

21.09-9 Local Places (clause 21.08)

01/06/2017
C440-C120

Banyule Heritage Places Study (July 1999)
Ivanhoe Structure Plan, 2012 (Revised December 2014)
Ivanhoe Activity Centre Heritage Items and Precincts, Context, 2013
Heidelberg Structure Plan (2007)
Greensborough Principal Activity Centre Plan (The Greenbook) (2007)
Greensborough Activity Centre – Urban and Landscape Design Guidelines for Precincts 2, 5 and 6 (November 2015)
Postcode 3081 Urban Design Framework, DLA, December 20189

Objective	Design response
To ensure that developments on or near ridgelines retain existing trees, sit below the tree canopies, minimise excavation, and enable further tree planting to form a continuous canopy, so that the scenic quality is maintained and enhanced.	<p>area for future growth of the mature canopy of trees, and understorey planting.</p> <ul style="list-style-type: none"> ▪ If more than one dwelling is proposed on a site in the GRZ2 or NRZ3, sufficient separation should be provided between each dwelling to allow for the planting and future growth of small to medium trees and understorey vegetation. ▪ Tree species and planting locations should be carefully selected to avoid canopy or root conflicts with overhead wires, easements and existing trees. ▪ Building site coverage should enable sufficient pervious site area for planting, growth and retention of vegetation. ▪ If there is no street tree within the frontage of a dwelling, a new street tree should be proposed.
	<ul style="list-style-type: none"> ▪ New buildings at or near ridgelines should be designed and sited so that cut and fill is minimised and the building sits below the height of trees along the ridgeline. ▪ New buildings at or near ridgelines should have muted colours and tones, and non-reflective materials. ▪ Trees and vegetation that contribute to the landscape should be retained. New native or indigenous trees should be planted on or near the ridgeline to form a continuous canopy.

Garden Suburban Precinct 2

Statement of Preferred Future Neighbourhood Character

The character of the precinct is to be retained and enhanced by:

- Designing new infill dwellings and extensions in a scale and architectural style that is sympathetic with existing dwellings in the precinct.
- Encouraging detailed design variation between dwellings to prevent mirror image street presentations.
- Maintaining the overall one or two storey scale of the dwellings in the GRZ2 or NRZ3.
- Ensuring the scale of new dwellings in the GRZ1 is sympathetic to the existing dwellings on neighbouring properties and the surrounding precinct.
- Positioning new dwellings in keeping with the front setbacks of dwellings along the street and with sufficient space for tree planting.
- Positioning new carports or garages behind or in line with the dwelling.
- Providing low and permeable front fencing coupled with vegetated front gardens.
- Improving streetscapes with the consistent planting of larger street trees in avenues, retaining the eucalypt street trees and carriageway treatments, and enhancing the view of trees on private properties from the street
- Removing environmental weeds where appropriate and planting large native or indigenous trees and understorey vegetation.
- Designing site layouts (including basements) with spacing around dwellings that allows for the planting and future growth of trees to maturity.
- Protecting and enhancing spines of trees along neighbouring rear yards.

- Landscaping the front setback to improve the garden setting and discourage car parking in front of dwellings.
- Ensuring basement ramps do not dominate the streetscape.
- Designing developments with only one single width crossover and a driveway that is softened with curves and vegetation.
- Protecting and enhancing the scenic and environmental qualities of treed ridgelines.
- Conserving and enhancing the heritage values of the Warringal Village Heritage Precinct.
- Obscuring household services from street view.

Parts of the Heidelberg Activity Centre is in this precinct. The detailed landscaping and vegetation outcomes for residential sites in this Activity Centre are guided by this policy. The preferred future built form character of residential sites in these Activity Centres is guided by the Design and Development Overlay Schedule 5.

Land east of Waterdale Road bounded by Bell, St Hellier and Edwin Streets in this precinct is subject to the The Postcode 3081 Urban Design Framework study area is in this precinct. The preferred future character of the Urban Design Framework area will be guided by Schedules 12, 14, 15 and 16 to the Design and Development Overlay and Schedules 4, 5, 6 and 7 to the Residential Growth Zone. Development should respect the existing low rise character, building form, height and scale of the area and ensure that development is designed to positively respond to the pattern, rhythm, spacing and materials of existing dwellings.

Within the GRZ2 or NRZ3

These areas will protect and enhance the garden suburban character of the precinct with an emphasis on protecting trees and creating new opportunities for vegetation throughout sites. They will provide for a mix of well-designed single dwellings and medium density dwellings in garden settings, with space around and between dwellings to create an attractive, treed landscape setting.

Within the GRZ1

These areas will accommodate change in a manner that supports the garden suburban character of the precinct. All developments will contribute to an enhanced treed environment, including opportunities for tree protection and planting, whilst providing for town houses and other medium density dwellings, as well as some dispersed single dwellings. Canopy trees and understorey vegetation will continue to contribute to the character of the area, particularly in front setbacks to reinforce the character of the street, and along rear boundaries to soften the interface between dwellings.

The site coverage may be greater for sites within the GRZ1 as long as tree and vegetation protection is achieved. The treed and spacious feel of the streetscape character will be retained and enhanced by ensuring front setbacks are large enough to plant a large tree and other vegetation. Building heights may also be increased for these developments, with the higher components generally positioned to front onto the street, and recessed from the lower levels to reduce their visual prominence and provide space for tree canopies.

Objectives and Design Responses

Objective	Design response
To ensure new buildings and extensions are sympathetic to the current building form and architectural style.	<ul style="list-style-type: none"> ▪ Incorporate the main themes, in correct proportions and scale from the 1950s and 1960s era as appropriate to the street, i.e: low pitched, hipped roof forms with a second or third hipped roof fronting the street; narrow, boxed eaves. ▪ Second storey additions should reflect the architectural style and form of the existing building. ▪ In the GRZ1, upper levels should be positioned towards the street frontage and be recessed from the

Objective	Design response
	<ul style="list-style-type: none"> Where driveway access is not currently available along The Boulevard, no further driveways should be constructed. Encourage outcomes that consider the <i>Banyule City Council Vehicle Crossing Policy 2012</i>. Driveways should include curves and bends that provide sufficient room for landscaping at varying heights. Driveways should be finished in muted tones that soften their appearance and blend with vegetation.
To maintain and strengthen the view of established front gardens, tree lined streets, and escarpment rockeries from the road.	<ul style="list-style-type: none"> Front gardens should contain at least one (1) large tree and understorey landscaping, including large shrubs. Frontages to The Boulevard should not contain areas of hard paving. Front fences should not be constructed. Secluded private open space should be located behind the line of a dwelling that faces the street.

Garden Suburban Precinct 6

Statement of Preferred Future Neighbourhood Character

The character of the precinct is to be retained and enhanced by:

- Designing new infill dwellings in an architectural style sympathetic with existing dwellings in the GRZ2, and in a contemporary style to enhance the urban environment in the GRZ1.
- Encouraging detailed design variation between dwellings to prevent mirror image street presentations.
- Maintaining the overall one or two storey scale of dwellings in the GRZ2.
- Ensuring the scale of new dwellings in the GRZ1 is sympathetic to the existing dwellings on neighbouring properties and the surrounding precinct.
- Providing low and permeable front fencing coupled with vegetated front gardens.
- Positioning new dwellings and appurtenances in keeping with the front setbacks of dwellings along the street, and with sufficient space for tree planting.
- Enhancing the landscape setting by removing environmental weeds where appropriate, and planting native or indigenous trees and understorey vegetation.
- Protecting and enhancing spines of trees along neighbouring rear yards.
- Designing site layouts (including basements) with spacing around dwellings to allow sufficient space for the planting and future growth of trees to maturity.
- Landscaping the front setback to improve the garden setting and discourage car parking in front of dwellings.
- Ensuring basement ramps, carports and garages do not dominate the streetscape.
- Designing developments with only one single width crossover and a driveway that is softened with curves and vegetation.
- Protecting and enhancing avenues of street trees, including the eucalypt street trees and carriageway treatments, and the views of trees on private property from the street.

—Obscuring household services from street view.

- The Postcode 3081 Urban Design Framework study area is in this precinct. The preferred identity of the housing diversity areas in the Urban Design Framework will be guided by Schedules 13, 14, 15, and 16 to the Design and Development Overlay, Schedules 4, 5, 6 and 7 to the Residential Growth Zone and protection of vegetation through Schedule 5 to the Vegetation Protection Overlay.

Within the GRZ2

These areas will protect and enhance the garden suburban character of the precinct with an emphasis on protecting trees and creating new opportunities for vegetation throughout sites. They will provide for a mix of well-designed single dwellings and medium density dwellings in garden settings, with space around and between dwellings to create an attractive, treed landscape setting.

Within the GRZ1

All GRZ1 land in this precinct is subject to the Postcode 3081 Urban Design Framework.

These areas will accommodate urban renewal change in a manner that supports enhances the preferred future character for the precinct while est providing for housing growth that supports an improved treed urban environment.

Development should respect the existing low rise character, building form, height and scale of the area and ensure that development is designed to positively respond to the pattern, rhythm, spacing and materials of existing dwellings.

Canopy trees and understorey vegetation will make a stronger contribution to the character of the area, particularly in front setbacks to reinforce the character of the street and along rear boundaries to soften the interface between dwellings. New town houses and other medium density dwellings will be provided.

Greater housing densities will be located on sites that:

- Have a frontage to or share a boundary with the Bell Street Mall or Olympic Village Shopping Centre.
- Front onto Bell Street, Oriol Road between Harrison Street and Bell Street, Waterdale Road, or Southern Road east of Shelley Street.
- Are adjoining a public park west of McEwan Road.

The site coverage may be greater as long as tree protection and planting is achieved. The treed and spacious feel of the streetscape character will be enhanced by ensuring front setbacks are large enough to plant a large tree and other vegetation. Building heights may also be increased for these developments, with the higher components generally positioned towards the front of the site, and recessed from the lower levels to reduce their visual prominence and provide space for tree canopies.

Objectives and Design Responses

Objective	Design response
To ensure new infill buildings are sympathetic to the current building form and style in Heidelberg Heights, and revitalise the character and urban environment in Heidelberg West.	<ul style="list-style-type: none"> ▪ On sites to the east of Waterdale Road <u>in GRZ2</u>, dwellings should incorporate the main themes, in correct proportions and scale from the 1950s era, ie: low pitched, hipped roof forms; narrow, boxed eaves, as appropriate to the street. Second storey additions should reflect the style and form of the existing building, however period detailing is not encouraged. ▪ On sites in the GRZ1 <u>that front onto or are to the west of Waterdale Road</u>, a range of well-designed contemporary dwelling styles should be pursued. ▪ <u>In GRZ1 and GRZ2</u> Variation should be provided between each dwelling of a development that faces the

Objective	Design response
To maintain consistency of current front setbacks whilst enabling tree planting in front gardens.	<p>street. This can be achieved through varied roof pitches, window and door placement, materials, façade articulation and other design detailing.</p> <ul style="list-style-type: none"> ▪ Dwellings within the GRZ2 should be setback in line with the predominant front setback of dwellings along the street. ▪ On sites in the GRZ1 that front onto or are to the west of Waterdale Road, a reduced front setback may be acceptable for new buildings (including basements) if this respects the predominant front setback of nearby dwellings and supports the planting and future growth of a large tree to maturity. ▪ For corner sites in GRZ1 and GRZ2, the front setback of a dwelling facing the side street should be at a transition between the predominant setback along the side street, and the side setback of the dwelling facing the front street.
To ensure buildings and extensions do not dominate the streetscape or the building, and do not adversely affect the outlook and amenity of neighbouring dwellings.	<ul style="list-style-type: none"> ▪ Second storey portions of buildings within the GRZ2 should be recessed from ground level wall surfaces and minimised in height. ▪ In GRZ1 and GRZ2 Buildings at the rear of a site should be designed to follow the topography of the land and respond sensitively to each interface. Second storeys (where appropriate) should be modest in size, have generous side and rear setbacks and be screened with vegetation. ▪ On sites in the GRZ1 that front onto or are to the west of Waterdale Road, good quality contemporary designs should be proposed that provide well-articulated built forms to reduce building bulk and provide visual interest. Upper levels should be recessed above the second storey and positioned towards the street frontage. ▪ Buildings in the GRZ1 located opposite or adjacent to land within the GRZ2 should provide a transition in building height and massing.
To ensure that household services are not a visually prominent feature.	<ul style="list-style-type: none"> ▪ In GRZ1 and GRZ2 Solar panels should be located to minimise their visual impact. Air conditioning, rainwater tanks, bins and storage should be located and/or screened so they are not visually obtrusive in the streetscape. ▪ In the GRZ1, rooftop plant equipment should be screened and/or located to minimise their visual impact and integrate with the roof form.
To minimise loss of front garden space, and the dominance of vehicle access, storage facilities and built form as viewed from the street.	<p>In GRZ1 and GRZ2:</p> <ul style="list-style-type: none"> ▪ Buildings should be sited to allow for the planting and growth of trees and shrubs. Front gardens should contain at least one (1) large tree and understorey landscaping, including large shrubs. ▪ Locate carports and garages behind the line of the dwelling. ▪ Dedicated car parking spaces should not be provided between the front wall of a dwelling that faces the street, and the front property boundary. Landscaping such as large shrubs and trees in the front setback and garden beds along driveway edges should be provided to discourage car parking in this location.

Objective	Design response
	<ul style="list-style-type: none"> Encourage outcomes that consider the <i>Banyule City Council Vehicle Crossing Policy 2012</i>. Driveways should include curves and bends that provide sufficient room for landscaping at varying heights. Driveways should be finished in muted tones that soften their appearance and blend with vegetation.
To maintain the openness of front boundary treatments, the view of established front gardens and tree lined street, and the presentation of dwellings to the street.	<p><u>In GRZ1 and GRZ2:</u></p> <ul style="list-style-type: none"> Buildings should be sited to allow for the planting and growth of trees and shrubs. Front gardens should contain at least one (1) large tree and understorey landscaping, including large shrubs. Provide for open style fences appropriate to the era of the dwelling. Secluded private open space should be located behind the line of a dwelling that faces the street.
To strengthen the garden and tree dominated streetscape character and landscaped setting of the precinct	<ul style="list-style-type: none"> <u>In GRZ1 and GRZ2:</u> Retain existing trees wherever possible. If this cannot be achieved, or a tree is considered appropriate for removal, the site should provide adequate space for offset planting of indigenous or native trees that will grow to a mature height similar to the mature height of the tree to be removed. <u>In GRZ1 and GRZ2:</u> One (1) medium to large tree should be provided for every 400 sq.m of site area, with a preference for large trees. This may include existing trees that are worthy of retention. At least one of the large trees should be provided in the front setback. <u>In GRZ1 and GRZ2:</u> Buildings (including basements) should be a sufficient distance from at least one side or rear property boundary to enable the planting and growth of medium to large trees. These setbacks should provide sufficient area for future growth of the mature canopy of trees, and understorey planting. If more than one dwelling is proposed on a site in the GRZ2, sufficient separation should be provided between each dwelling to allow for the planting and future growth of small to medium trees and understorey vegetation. <u>In GRZ1 and GRZ2:</u> Tree species and planting locations should be carefully selected to avoid canopy or root conflicts with overhead wires, easements and existing trees. <u>In GRZ1 and GRZ2:</u> Building site coverage should enable sufficient pervious site area for planting, growth and retention of vegetation. <u>In GRZ1 and GRZ2:</u> If there is no street tree within the frontage of a dwelling, a new street tree should be proposed.

Objective	Design response
To maintain the appearance of 'buildings in grounds'.	<ul style="list-style-type: none"> Dwellings should be sited so as to be as isolated from other dwellings as possible. Dwellings and extensions should be located centrally within the site, and partly obscured from vision by distance from the front boundary, topography and vegetation including tall trees.
To minimise excavation for vehicle access, loss of front garden space, and dominance of vehicle access, storage facilities and built form as viewed from the street.	<ul style="list-style-type: none"> Locate carports, garages, and all uncovered parking spaces behind the line of the dwelling. Landscaping such as large shrubs and trees in the front setback should be provided to discourage car parking in the front yard. Encourage outcomes that consider the <i>Banyule City Council Vehicle Crossing Policy 2012</i>. Driveways should follow the contours of the site and include curves and bends that provide opportunities for landscaping at varying heights. Driveways should not be paved for their length, but should use a porous surface such as gravel or toppings.
To ensure that developments on or near ridgelines retain existing trees, sit below the tree canopies, minimise excavation, and enable further tree planting to form a continuous canopy, so that the scenic quality is maintained and enhanced.	<ul style="list-style-type: none"> New buildings on hill faces and upper slopes should be designed and sited so that cut and fill is minimised and rooftops are set below the top of the ridge. New buildings on hill faces and upper slopes should complement the scenic quality of their location and enhance the treed setting with muted colours and tones, and non-reflective materials. Trees and vegetation that contribute to the landscape should be retained. New native or indigenous trees should be planted on or near the ridgeline to form a continuous canopy.

22.02-824/07/2014
C100**Application requirements**

An application should be accompanied by the following information, as appropriate:

- An arborist report when tree removal is proposed. The report should be prepared as described in AS 4970-2009 Protection of trees on development sites.
- A Landscape Concept Plan which considers the Banyule Tree Planting Zone Guidelines. It should distinguish landscaped garden areas from useable private open space, show tree planting locations and the extent of the mature canopies.

22.02-901/10/2015
C245/120**Reference documents**

Banyule City Council Neighbourhood Character Strategy 2012.

Banyule City Council Tree Planting Zone Guidelines 2011.

Landscape Assessment for Significant Ridgelines in Banyule 2012

Banyule City Council Vehicle Crossing Policy 2012

AS 4970-2009 Protection of trees on development sites

Banyule Weed Management Strategy (2006).

Advisory List of Rare or Threatened Plants in Victoria, DSE 2005.

Postcode 3081 Urban Design Framework, 2019

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C120

SCHEDULE 45 TO CLAUSE 32.07 RESIDENTIAL GROWTH ZONE

Shown on the planning scheme map as **RGZ4RGZ5**

POSTCODE 3081 URBAN DESIGN FRAMEWORK BELL STREET

1.0 Design objectives

DD/MM/YYYY
Y
C120

- To ~~encourage~~ ensure the scale and form of higher density, mixed use development ~~complements the existing character and maximising access to public transport, shops and services.~~
- To ensure new development responds to a the boulevard character ~~of along~~ Bell Street and performs a gateway role for Postcode 3081. ~~its access to public transport, shops and services.~~
- To encourage site consolidation ~~to enable~~ enabling preferred scale and dwelling form outcomes ~~and to that~~ improve housing diversity ~~and facilitate high quality development.~~
- ~~To protect the amenity of adjoining residential properties.~~
- ~~To manage the built form character transition.~~
- ~~To respond to the existing landscape character.~~

2.0 Requirements of Clause 54 and Clause 55

DD/MM/YYYY
Y
C120

	Standard	Requirement
Minimum street setback	A3 and B6	None specified
Site coverage	A5 and B8	None specified
Permeability	A6 and B9	None specified
Landscaping	B13	None specified
Side and rear setbacks	A10 and B17	None specified
Walls on boundaries	A11 and B18	None specified
Private open space	A17	None specified
	B28	None specified
Front fence height	A20 and B32	None specified

3.0 Maximum building height requirement for a dwelling or residential building

DD/MM/YYYY
Y
C 120

A building used as a dwelling or a residential building must not exceed 18 metres in height or 5 storeys.

4.0 Application requirements

DD/MM/YYYY
Y
C 120

~~-None specified.~~

5.0 Decision guidelines

DD/MM/YYYY
Y
C 120

The following decision guidelines apply to an application for a permit under Clause 32.07, in addition to those specified in Clause 32.07 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:

- ~~-Whether the proposal meets the objectives of this schedule.~~

- Whether the height of a storey is a minimum of 3.2 metres measured from finished floor level to finished floor level above or to the ceiling at the upper most level of a building.
- Whether the building provides a basement that extends no greater than 1 metre above ground level.
- Whether the ~~design response built form~~ and land use ~~response~~ complies with Design and Development Overlay Schedule 13 ~~meets the objectives, strategies and guidelines of the Postcode 3081 Urban Design Framework, 2019.~~

DD/MM/YYYY
Y
C120**SCHEDULE 56 TO CLAUSE 32.07 RESIDENTIAL GROWTH ZONE**Shown on the planning scheme map as **RGZ5RGZ6****POSTCODE 3081 URBAN DESIGN FRAMEWORK MAIN ROADS****1.0 Design objectives**DD/MM/YYYY
Y
C120

- To ~~encourage~~ ensure the scale and form of higher density development ~~complements the existing character along Main Roads by increasing heights with upper levels that visually recede to enhance legibility within Postcode 3081.~~
- To encourage site consolidation enabling preferred scale and dwelling form outcomes that improve housing diversity.
- ~~To encourage site consolidation to enable preferred scale and dwelling form outcomes and to improve housing diversity and facilitate high quality development.~~
- ~~To protect the amenity of adjoining residential properties.~~
- ~~To manage the built form character transition.~~
- ~~To respond to the existing landscape character.~~

2.0 Requirements of Clause 54 and Clause 55DD/MM/YYYY
Y
C120

	Standard	Requirement
Minimum street setback	A3 and B6	None specified
Site coverage	A5 and B8	None specified
Permeability	A6 and B9	None specified
Landscaping	B13	None specified
Side and rear setbacks	A10 and B17	None specified
Walls on boundaries	A11 and B18	None specified
Private open space	A17	None specified
	B28	None specified
Front fence height	A20 and B32	None specified

3.0 Maximum building height requirement for a dwelling or residential buildingDD/MM/YYYY
Y
C120

A building used as a dwelling or a residential building must not exceed 21.5 metres in height or 6 storeys.

4.0 Application requirementsDD/MM/YYYY
Y
C120

-None specified.

5.0 Decision guidelinesDD/MM/YYYY
Y
C120

The following decision guidelines apply to an application for a permit under Clause 32.07, in addition to those specified in Clause 32.07 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:

- -Whether the proposal meets the objectives of this schedule.

- Whether the height of a storey is a minimum of 3.2 metres measured from finished floor level to finished floor level above or to the ceiling at the upper most level of a building.
- Whether the building provides a basement that extends no greater than 1 metre above ground level.
- Whether the ~~design response~~ ~~built form~~ and land use meets the objectives, strategies and design guidelines of the *Postcode 3081 Urban Design Framework, 2019* ~~response complies with Design and Development Overlay Schedule 14.~~

DD/MM/YYYY
Y
C120**SCHEDULE ~~67~~ TO CLAUSE 32.07 RESIDENTIAL GROWTH ZONE**Shown on the planning scheme map as **~~RGZ6RGZ7~~****POSTCODE 3081 URBAN DESIGN FRAMEWORK CREEKSIDE ~~WEST~~****1.0 Design objectives**DD/MM/YYYY
Y
C120

- To ~~encourage~~ ensure the scale and form of high density development that ~~responds to and complements the existing character and~~ activates the ~~Creekside~~ creekside environment.
- ~~To encourage site consolidation to enable preferred scale and dwelling form outcomes and to improve housing diversity and facilitate high quality development.~~
- ~~To encourage site consolidation enabling preferred scale and dwelling form outcomes that improve housing diversity.~~
- ~~To protect the amenity of adjoining residential properties.~~
- ~~To manage the built form character transition.~~
- ~~To respond to the existing landscape character and provide a visual link from the creek.~~

2.0 Requirements of Clause 54 and Clause 55DD/MM/YYYY
Y
C120

	Standard	Requirement
Minimum street setback	A3 and B6	None specified
Site coverage	A5 and B8	None specified
Permeability	A6 and B9	None specified
Landscaping	B13	None specified
Side and rear setbacks	A10 and B17	None specified
Walls on boundaries	A11 and B18	None specified
Private open space	A17	None specified
	B28	None specified
Front fence height	A20 and B32	None specified

3.0 Maximum building height requirement for a dwelling or residential buildingDD/MM/YYYY
Y
C120

A building used as a dwelling or a residential building must not exceed 18 metres in height or 5 storeys.

4.0 Application requirementsDD/MM/YYYY
Y
C120

~~-None specified.~~

5.0 Decision guidelinesDD/MM/YYYY
Y
C120

The following decision guidelines apply to an application for a permit under Clause 32.07, in addition to those specified in Clause 32.07 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:

- ~~-Whether the proposal meets the objectives of this schedule.~~

- Whether the height of a storey is a minimum of 3.2 metres measured from finished floor level to finished floor level above or to the ceiling at the upper most level of a building.
- Whether the building provides a basement that extends no greater than 1 metre above ground level.
- Whether the ~~design response~~ ~~built form~~ and land use meets the objectives, strategies and design guidelines of the *Postcode 3081 Urban Design Framework, 2019* ~~response complies with Design and Development Overlay Schedule 15.~~

DD/MM/YYYY
Y
C120**SCHEDULE ~~78~~ TO CLAUSE 32.07 RESIDENTIAL GROWTH ZONE**Shown on the planning scheme map as **~~RGZ7~~RGZ8****POSTCODE 3081 URBAN DESIGN FRAMEWORK LOCAL PARK ~~AND MAIN ROAD HINTERLAND~~ INTERFACES****1.0 Design objectives**DD/MM/YYYY
Y
C120

- ~~To encourage mid-rise development that improves the interface and surveillance of adjacent local parks, ensure the scale and form of mid-rise development complements the existing character and enhances the amenity of existing public open spaces.~~
- ~~To encourage mid-rise development on Waterdale Road to enhance legibility within Postcode 3081 and provide a transition to hinterland areas.~~
- ~~To encourage site consolidation to enable preferred scale and dwelling form outcomes and to improve housing diversity and facilitate high quality development.~~
- ~~To protect the amenity of adjoining residential properties.~~
- ~~To encourage site consolidation enabling preferred scale and dwelling form outcomes that improve housing diversity.~~
- To manage the built form character transition.
- To respond to the existing landscape character.

2.0 Requirements of Clause 54 and Clause 55DD/MM/YYYY
Y
C120

	Standard	Requirement
Minimum street setback	A3 and B6	None specified
Site coverage	A5 and B8	None specified
Permeability	A6 and B9	None specified
Landscaping	B13	None specified
Side and rear setbacks	A10 and B17	None specified
Walls on boundaries	A11 and B18	None specified
Private open space	A17	None specified
	B28	None specified
Front fence height	A20 and B32	None specified

3.0 Maximum building height requirement for a dwelling or residential buildingDD/MM/YYYY
Y
C120A building used as a dwelling or a residential building must not exceed 14.5 metres in height or 4 storeys.**4.0 Application requirements**DD/MM/YYYY
Y
C120

-None specified.

5.0 Decision guidelines

DD/MM/YYYY
Y
C 120

The following decision guidelines apply to an application for a permit under Clause 32.07, in addition to those specified in Clause 32.07 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:

- -Whether the proposal meets the objectives of this schedule.
- Whether the height of a storey is a minimum of 3.2 metres measured from finished floor level to finished floor level above or to the ceiling at the upper most level of a building.
- Whether the building provides a basement that extends no greater than 1 metre above ground level.
- Whether the design response ~~built form~~ and land use meets the objectives and strategies of the Postcode 3081 Urban Design Framework, 2019 ~~response~~ complies with Design and Development Overlay Schedule 16.

DD/MM/YYYY
Y
C120**SCHEDULE ~~69~~ TO CLAUSE 32.07 RESIDENTIAL GROWTH ZONE**Shown on the planning scheme map as **~~RGZ6~~RGZ9****POSTCODE 3081 URBAN DESIGN FRAMEWORK CREEKSIDE ~~EAST~~****1.0 Design objectives**DD/MM/YYYY
Y
C120

- ~~To encourage mid-rise development that responds to and activates the creekside environment and Liberty Parade.~~
- ~~To encourage site consolidation enabling preferred scale and dwelling form outcomes that improve housing diversity.~~
- ~~To provide an appropriate built form transition from the high density development along the creek to the residential hinterland.~~

DD/MM/YYYY
Y
C120

- ~~To ensure the scale and form of high density development that complements the existing character and activates the Creekside environment.~~
- ~~To encourage site consolidation to enable preferred scale and dwelling form outcomes and to improve housing diversity and facilitate high quality development.~~
- ~~To protect the amenity of adjoining residential properties.~~
- ~~To manage the built form character transition.~~
- ~~To respond to the existing landscape character and provide a visual link from the creek.~~

2.0 Requirements of Clause 54 and Clause 55DD/MM/YYYY
Y
C120

	Standard	Requirement
Minimum street setback	A3 and B6	None specified
Site coverage	A5 and B8	None specified
Permeability	A6 and B9	None specified
Landscaping	B13	None specified
Side and rear setbacks	A10 and B17	None specified
Walls on boundaries	A11 and B18	None specified
Private open space	A17	None specified
	B28	None specified
Front fence height	A20 and B32	None specified

3.0 Maximum building height requirement for a dwelling or residential buildingDD/MM/YYYY
Y
C120

A building used as a dwelling or a residential building must not exceed ~~18~~ 14.5 metres in height or 4 storeys.

4.0 Application requirementsDD/MM/YYYY
Y
C120

-None specified.

5.0 Decision guidelines

DD/MM/YYYY
Y
C 120

The following decision guidelines apply to an application for a permit under Clause 32.07, in addition to those specified in Clause 32.07 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:

- -Whether the proposal meets the objectives of this schedule.
- Whether the height of a storey is a minimum of 3.2 metres measured from finished floor level to finished floor level above or to the ceiling at the upper most level of a building.
- Whether the building provides a basement that extends no greater than 1 metre above ground level.
- Whether the design response ~~built form~~ and land use meets the objectives, strategies and guidelines of the Postcode 3081 Urban Design Framework, 2019 ~~response complies with Design and Development Overlay Schedule 15.~~

DD/MM/YYYY
Y
C120**SCHEDULE 13 TO CLAUSE 43.02 DESIGN AND DEVELOPMENT
OVERLAY**Shown on the planning scheme map as **DDO13****POSTCODE 3081 URBAN DESIGN FRAMEWORK BELL STREET****1.0****Design objectives**DD/MM/YYYY
Y
C-120

- ~~The general design objective is to:~~
- ~~To encourage urban renewal and support a preferred character of development that creates the development of a new built form identity that responds to the boulevard character of along Bell Street and enhances its role as a gateway to Postcode 3081 and its access to public transport, shops and services.~~
- ~~To encourage site consolidation and discourage the under-development of land to enable the preferred scale and dwelling form outcomes identified in this schedule, and to improve housing diversity and facilitate high quality development.~~
- ~~Discourage the underdevelopment of land by not permitting dwellings or entrenching uses that are inconsistent with the preferred scale and dwelling form identified in this schedule.~~
- ~~To ensure the scale and form of new dwellings development achieves the preferred character for the area and manages the potential adverse amenity impacts on adjoining residential properties through an appropriate built form transition.~~
- ~~complements To ensure new development improves the streetscape environment and landscape character of Bell Street and surrounds.~~
- ~~the existing landscape character, responds to local natural attributes and landscape opportunities including protection of existing and planting of trees, and the desired future streetscape, building height, siting and built form character.~~
- ~~To ensure buildings are of a high quality design and construction that include the use of appropriate materials and colours of muted tones that blend in with the surrounding environment.~~

2.0**Buildings and works**DD/MM/YY
YY
C120

A ~~planning~~ permit is not required to construct a building or ~~construct or~~ carry out works for:

- Construction ~~and or~~ extension of one dwelling on a ~~site lot~~ of 300 sqm or more.
- Works normal to a dwelling.
- Construction ~~ion or extend extension of~~ an outbuilding (other than a garage or carport) on a lot provided the gross floor area of the out-building does not exceed 10 square metres and a maximum building height is not more than 3 metres above ground level.

2.1 General Requirements

The following buildings and works requirements apply to an application to construct a building or ~~construct or~~ carry out works:

- ~~Require a green zone within the rear setback to retain existing trees and maintain backyard character.~~
- ~~Require a landscaped front setback to respond to the existing treed streetscape character and protect existing trees and root protection zones.~~
- ~~Require side setbacks to provide for breaks between built form to allow landscaping and protect amenity.~~
- ~~Encourage a podium base of 2-3 storeys responding to existing character.~~
- ~~Encourage upper levels to form a distinct lightweight element setback from the front, side and rear.~~
- ~~Require upper level side setbacks to increase with height, encouraging lot consolidation to allow for greater height in the centre of sites.~~
- ~~Allow balconies to encroach into the upper level setbacks provided they are lightweight and discontinuous.~~
- Use Building materials must include a range of non-reflective and natural materials such as brick and wood and with a muted colour palette that reflects the existing residential character through natural, non-reflective materials, such as brick and wood as well as muted colours.
- ~~Discourage Vehicle access from Bell Street is discouraged unless Bell Street should only be used as a vehicle access point in case other alternatives are not feasible.~~
- No more than 50% of the roof area is to be occupied by plant and equipment (other than solar panels).
- Plant and equipment must be and be integrated into the design of the building and located so as to avoid additional overshadowing of private or public open space or habitable room windows on adjoining land, and is not to project higher than 3.6 metres above the building roof and be integrated into the design of the building.

2.2 Design Requirements

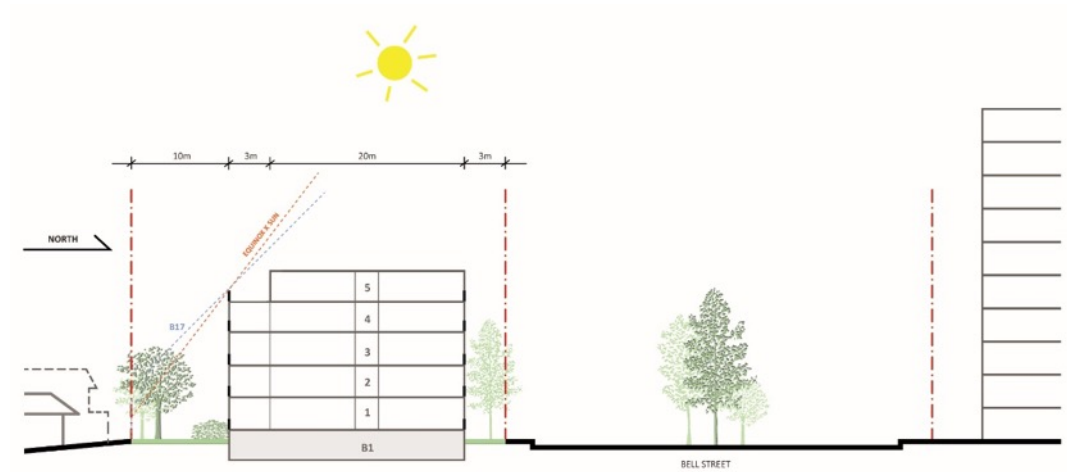
~~The following buildings and works requirements apply to an application to construct a building or carry out works:~~

- Development should meet the preferred minimum building setback requirements specified in Table 1, ~~except for Lightweight and discontinuous balcony forms and must not exceed the maximum height requirement in Clause 32.07 Schedule 4 may project within into the specified setbacks.~~

Table 1: Preferred Built Form Area 1

Preferred minimum front street setback	Preferred minimum rear setback	Preferred minimum side setback
3 metres	6 metres <u>plus 1 metre for every metre of height over 10.9 metres</u>	<u>0 metres if located on the boundary or 4.5 metres if adjacent to a habitable room window</u>

Diagram 1—Table 1 Design Requirements Illustrated



Section—Bell Street (south)

3.0

Subdivision

DD/MM/YYYY
Y
C120

None specified.

4.0

Advertising signs

DD/MM/YYYY
Y
C120

None specified.

5.0

Decision guidelines

DD/MM/YYYY
Y
C120

The following decision guidelines apply to an application for a permit under Clause 43.02, in addition to those specified in Clause 43.02 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:

- Whether the relevant objectives and requirements of this schedule are satisfied.
- Whether the design response meets the objectives, strategies and guidelines of the The Postcode 3081 Urban Design Framework, ~~2018~~2019.

DD/MM/YYYY
Y
C120**SCHEDULE 14 TO CLAUSE 43.02 DESIGN AND DEVELOPMENT
OVERLAY**Shown on the planning scheme map as **DDO14****POSTCODE 3081 URBAN DESIGN FRAMEWORK MAIN ROADS****1.0 Design objectives**DD/MM/YYYY
Y
C-120~~General design objective is to:~~

- ~~To Encourage encourage urban renewal and support~~ the development of a new built form identity along Main Roads ~~by increasing through increased~~ heights with upper levels that visually recede.
- ~~To encourage site consolidation and discourage the under-development of land.~~
- ~~To ensure the scale and form of development achieves the preferred character for the area and manages the potential adverse amenity impacts on adjoining residential and parklands properties through an appropriate built form transition.~~
- ~~To ensure new development provides a positive contribution to the existing landscape character and enhances the amenity of any adjoining public open spaces.~~
- ~~Encourage site consolidation to enable the preferred scale and dwelling form outcomes identified in this schedule, and to improve housing diversity and facilitate high quality development.~~
- ~~Discourage the underdevelopment of land by not permitting dwellings or entrenching uses that are inconsistent with the preferred scale and dwelling form identified in this schedule.~~
- ~~Ensure the scale and form of new dwellings complements the existing landscape character, responds to local natural attributes and landscape opportunities including protection of existing and planting of trees, the desired future streetscape, building height, setbacks and built form character.~~
- ~~To Ensure ensure~~ buildings are of a high quality design and construction that include the use of appropriate materials and colours of muted tones that blend in with the surrounding environment.

2.0 Buildings and worksDD/MM/YYYY
YY
C120A ~~planning~~ permit is not required to construct a building or construct or carry out works for:

- Construction ~~and or~~ extension of one dwelling on a ~~site lot~~ of 300 sqm or more.
- Works normal to a dwelling.
- Construction ion or ~~extend extension of~~ an outbuilding (other than a garage or carport) on a lot provided the gross floor area of the out-building does not exceed 10 square metres and a maximum building height is not more than 3 metres above ground level.

2.1 ~~General Requirements~~The following buildings and works requirements apply to an application to construct a building or construct or carry out works:

- ~~Landscaping should be provided in the in the rear setback ear setback including of a building capable of accommodating at least one canopy tree.~~
- ~~Light-weight materials such as glass and timber are to be incorporated in all upper levels.~~
- ~~Building materials must include a range of non-reflective and natural materials, such as brick and wood with a muted colour palette.~~

- ~~■ Require a green zone within the rear setback to retain existing trees and maintain backyard character.~~
- ~~■ No more than 50% of the roof area is to be occupied by plant and equipment (other than solar panels).~~
- ~~■ Plant and equipment must be integrated into the design of the building, and located so as to avoid additional overshadowing of private or public open space or habitable room windows on adjoining land, not project higher than 3.6 metres above the building roof and be integrated into the design of the building.~~
- ~~■ Above ground parking is to be hidden behind habitable accommodation out of view of the public realm.~~
- ~~■ Require a landscaped front setback to respond to the existing treed streetscape character and protect existing trees and root protection zones.~~
- ~~■ Require side setbacks to provide for breaks between built form to allow landscaping and protect amenity.~~
- ~~■ Encourage a podium base of 2-3 storeys responding to existing character.~~
- ~~■ Encourage upper levels to form a distinct lightweight element setback from the front, side and rear.~~
- ~~■ Require upper level side setbacks to increase with height, encouraging lot consolidation to allow for greater height in the centre of sites.~~
- ~~■ Allow balconies to encroach into the upper level setbacks provided they are lightweight and discontinuous.~~
- ~~■ Use building materials and a colour palette that reflects the existing residential character through natural, non-reflective materials, such as brick and wood as well as muted colours.~~
- ~~■ Ensure above ground parking is hidden behind habitable accommodation out of view of the public realm.~~

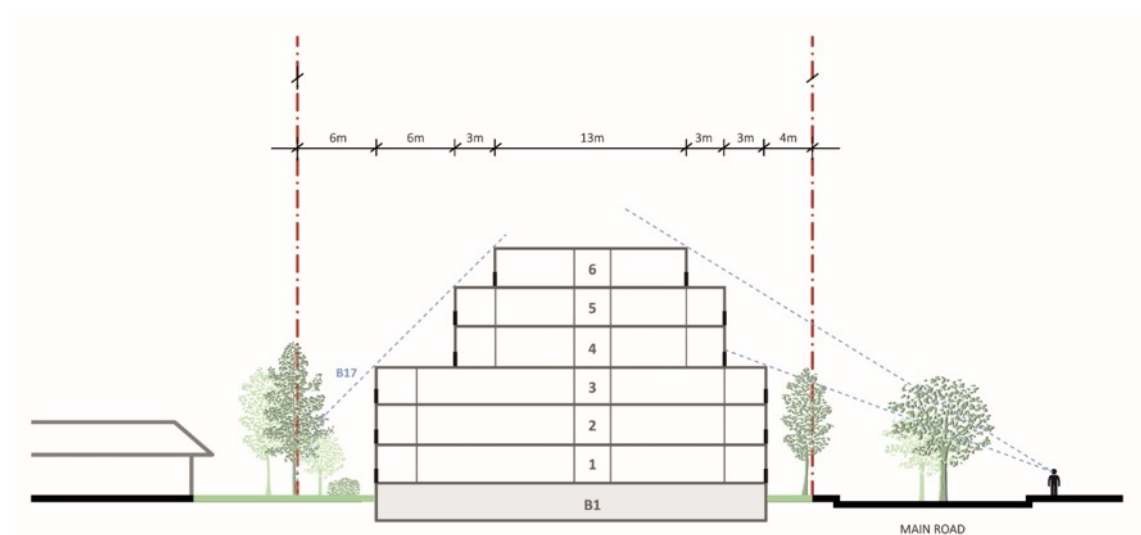
2.2 Design Requirements

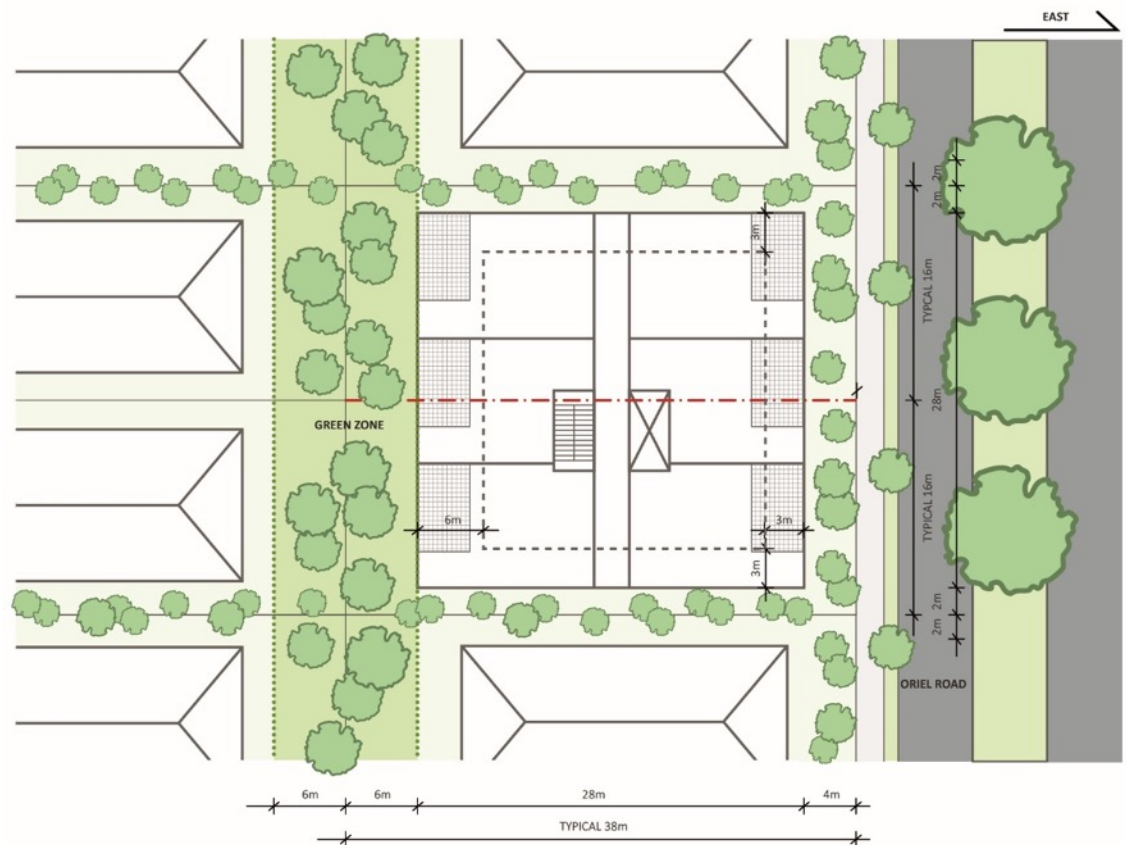
The following buildings and works requirements apply to an application to construct a building or carry out works:

- Development on lots interfacing directly with a park should:
 - Be designed to address the public open space to provide passive surveillance and take advantage of views.
 - Include a low to moderate height fence to clearly define the public realm while retaining the potential for visual interaction.
 - Ensure that at least two-thirds of the public open space will continue to receive sunlight between 11am and 2pm during the winter solstice.
- Development should meet the preferred minimum building setback requirements specified in Table 1. Lightweight and discontinuous balcony forms may project into the specified setbacks, except for lightweight and discontinuous balcony forms and must not exceed the maximum height requirement in Clause 32.07 Schedule 5.

Table 1: Preferred Setbacks

Preferred minimum front street setback	Preferred minimum rear setback	Preferred minimum side setback
<p>4 metres</p> <p>Any part of the<u>a</u> buildings above 3 storeys should be setback a minimum of 3 metres from the front building line and a further 3 metres above 5 storeys</p>	<p>-6 metres <u>where a building does not share a boundary with a park plus 1 metre for every metre of height over 10.9 metres</u></p> <p>or</p> <p><u>3 metres where a building shares a boundary with a park, plus 1 metre for every metre of height over 10.9 metres</u> <u>3 metres</u></p>	<p>2 metres <u>plus 1 metre for each metre of height above 3 storeys</u></p>

Diagram 1—Table 1 Design Requirements Illustrated*Section—Main Roads*



Typical Upper Floor Plan — Main Roads with two lots consolidated

3.0

Subdivision

DD/MM/YYYY
Y
C120

None specified.

4.0

Advertising signs

DD/MM/YYYY
Y
C120

None specified.

5.0

Decision guidelines

DD/MM/YYYY
Y
C120

The following decision guidelines apply to an application for a permit under Clause 43.02, in addition to those specified in Clause 43.02 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:

- Whether the relevant objectives and requirements of this schedule are satisfied.
- Whether the design response meets the objectives, strategies and guidelines of the ~~The~~ Postcode 3081 Urban Design Framework, ~~2018~~2019.

DD/MM/YYYY
Y
C120**SCHEDULE 15 TO CLAUSE 43.02 DESIGN AND DEVELOPMENT
OVERLAY**Shown on the planning scheme map as **DDO15****POSTCODE 3081 URBAN DESIGN FRAMEWORK CREEKSIDE WEST****1.0****Design objectives**DD/MM/YYYY
Y
C120~~The general design objective is to:~~

- ~~To Encourage urban renewal and support the development of a new mid-rise built form encourage a preferred character to that activates the Creekside creekside environment and enhances the amenity and surveillance of Darebin Creek Forest Park provide a visual link from the creek to the residential hinterland.~~
- ~~To ensure new development positively contributes to the existing landscape character and improves access to the creek corridor.~~
- ~~To encourage site consolidation and discourage discourage the under-development of land.~~
- ~~To ensure the scale and form of development achieves the preferred character for the area and manages the potential adverse amenity impacts on adjoining residential properties through an appropriate built form transition.~~
- ~~Encourage site consolidation to enable the preferred scale and dwelling form outcomes identified in this schedule, and to improve housing diversity and facilitate high quality development.~~
- ~~Discourage the underdevelopment of land by not permitting dwellings or entrenching uses that are inconsistent with the preferred scale and dwelling form identified in this schedule.~~
- ~~Ensure the scale and form of new dwellings complements the existing landscape character, responds to local natural attributes and landscape opportunities including protection of existing and planting of trees, the desired future streetscape, building height, siting and built form character.~~
- ~~To Ensure buildings are of a high quality design and construction that include the appropriate use of materials and colours of muted tones that blend in with the surrounding creekside environment.~~

2.0**Buildings and works**DD/MM/YY
YY
C120A ~~planning~~ permit is not required to construct a building or construct or carry out works for:

- Construction ~~and or~~ extension of one dwelling on a site lot of 300 sqm or more.
- Works normal to a dwelling.
- Construction or ~~extend extension of~~ an outbuilding (other than a garage or carport) on a lot provided the gross floor area of the out-building does not exceed 10 square metres and a maximum building height is not more than 3 metres above ground level.

~~2.1~~ General Requirements

The following buildings and works requirements apply to an application to construct a building or construct or carry out works:

- ~~■ Require a green zone within the rear setback to retain existing trees and maintain backyard character.~~
- ~~■ Require a landscaped front setback to respond to the existing treed streetscape character and protect existing trees and root protection zones.~~
- ~~■ Require side setbacks to provide for breaks between built form to allow landscaping and protect amenity.~~
- ~~■ Encourage a podium base of 2-3 storeys responding to existing character.~~
- ~~■ Encourage upper levels to form a distinct lightweight element setback from the front, side and rear.~~
- ~~■ Require upper level side setbacks to increase with height, encouraging lot consolidation to allow for greater height in the centre of sites.~~
- ~~■ Allow balconies to encroach into the upper level setbacks provided they are lightweight and discontinuous.~~
- ~~■ Use building materials and a colour palette that reflects the existing residential character through natural, non reflective materials, such as brick and wood as well as muted colours.~~
- Landscaping should be provided in the front setback of a building capable of accommodating including at least one canopy tree.
- Light-weight materials such as glass and timber are to be incorporated in all upper levels.
- Building materials must include a range of non-reflective and natural materials, such as brick and wood with a muted colour palette.
- Provide pedestrian links defined by low landscaping and permeable front fences and development designed to address links and the creek reserve with entries, windows and balconies.
- No more than 50% of the roof area is to be occupied by plant and equipment (other than solar panels).
- Plant and equipment must be integrated into the design of the building, and located so as to avoid additional overshadowing of private or public open space or habitable room windows on adjoining land, and not project higher than 3.6 metres above the building roof and be integrated into the design of the building.

~~■~~ **2.2 Design Requirements**

- ~~■ The following buildings and works requirements apply to an application to construct a building or carry out works:~~
- Development on lots interfacing directly with the creek reserve should include a 1.5 metre wide footpath within the creek reserve alongside the common boundary to clearly define the public and private realms:
 - A publicly accessible pedestrian and cycle link (designed to meet Council standards) within one side setback unless a link already exists or is approved within a neighbouring development.
 - Low landscaping and permeable front fences along the edge of pedestrian links.
 - Entries, windows and balconies addressing the pedestrian link.
 - A landscaped setback from the property boundary facing the creek.
 - A low and permeable fence to clearly define the public realm while retaining the potential for visual interaction.
- Development should meet the preferred minimum building setback requirements specified in Table 1. Lightweight and discontinuous balcony forms may project

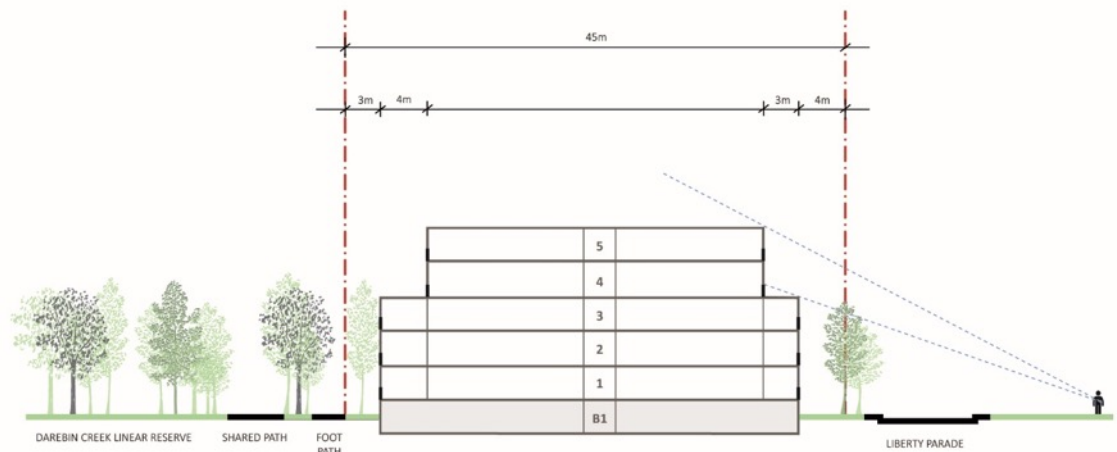
~~into the specified setbacks, and must not exceed the maximum height requirement in Clause 32.07 Schedule 6 except balconies provided they are lightweight and discontinuous.~~

- ~~Development on lots interfacing directly with the creek reserve should include a 1.5 metre wide footpath within the creek reserve alongside the common boundary to clearly define the public and private realms.~~

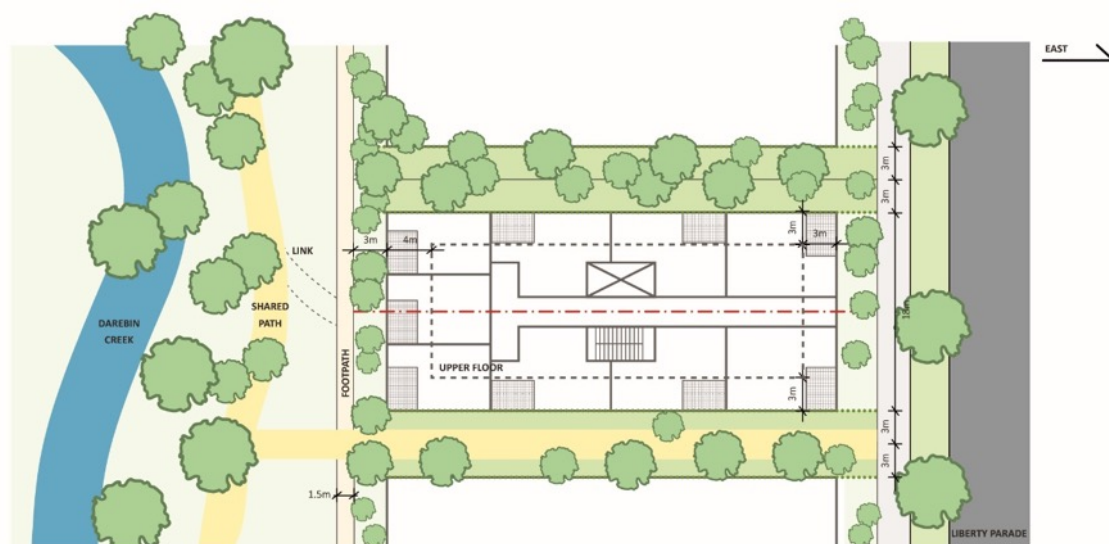
Table 1: Preferred Setbacks

Preferred minimum front street setback	Preferred minimum rear setback	Preferred minimum side setback
<p>4 metres</p> <p>Any part of the a buildings above 3 storeys should be setback a minimum of 3 metres from the front building line and a further 3 metres above 5 storeys</p>	<p>63 metres <u>where there is a direct interface with the creek reserve plus an additional 4 metres from the rear building line for any part of the building above 3 storeys; a setback of 4 metres from the building line</u></p> <p><u>6 metres if there is no interface with the creek reserve plus 1 metre for every metre of height over 10.9 metres</u></p>	<p><u>2 metres plus 1 metre for every metre of height above 3 storeys</u></p> <p><u>Where two or more lots are consolidated 3 metres, plus 1 metre for every metre of height above 3 storeys 2 metres, or 3 metres where two or more lots are consolidated, plus 1 metre for every metre of height above 3 storeys</u></p>

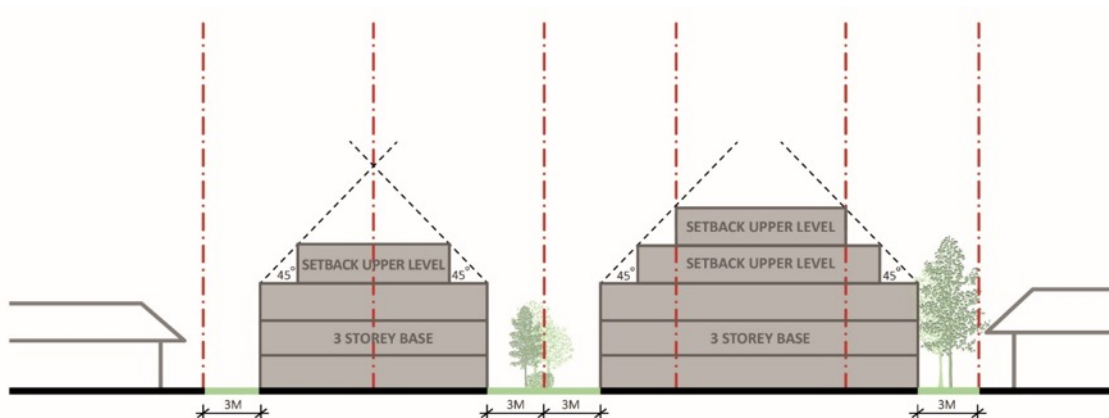
Diagram 1—Table 1 Design Requirements Illustrated



Section—Creekside



Typical Upper Floor Plan – Creekside (two lots consolidated)



Front Elevation – Creekside – sharing side setbacks for 2 lot and 3 lot sites

3.0

Subdivision

DD/MM/YYYY
Y
C120

None specified.

4.0

Advertising signs

DD/MM/YYYY
Y
C120

None specified.

5.0

Decision guidelines

DD/MM/YYYY
Y
C120

The following decision guidelines apply to an application for a permit under Clause 43.02, in addition to those specified in Clause 43.02 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:

- Whether the relevant objectives and requirements of this schedule are satisfied.
- Whether the design response meets the objectives, strategies and guidelines of the The Postcode 3081 Urban Design Framework, ~~2018~~2019.

DD/MM/YYYY
Y
C120**SCHEDULE 16 TO CLAUSE 43.02 DESIGN AND DEVELOPMENT
OVERLAY**Shown on the planning scheme map as **DDO16****POSTCODE 3081 URBAN DESIGN FRAMEWORK LOCAL PARK INTERFACES****1.0****Design objectives**DD/MM/YYYY
Y
C-120~~The general design objective is to:~~

- ~~To Encourage urban renewal and support a preferred character of the development of a new mid-rise built form to which activates the edges and enhances the amenity and surveillance of existing public open spaces.~~
- ~~To ensure new development positively contributes to the existing landscape character and enhances the amenity of public open spaces.~~
- ~~To encourage site consolidation and discourage the under-development of land.~~
- ~~To ensure the scale and form of development achieves the preferred character for the area and manages the potential adverse amenity impacts on adjoining residential properties through an appropriate built form transition.~~
- ~~Encourage site consolidation to enable the preferred scale and dwelling form outcomes identified in this schedule, and to improve housing diversity and facilitate high quality development.~~
- ~~Discourage the underdevelopment of land by not permitting dwellings or entrenching~~
- ~~uses that are inconsistent with the preferred scale and dwelling form identified in this schedule.~~
- ~~Ensure the scale and form of new dwellings complements the existing landscape character, responds to local natural attributes and landscape opportunities including protection of existing and planting of trees, the desired future streetscape, building height, siting and built form character.~~
- ~~To Ensure~~ buildings are of a high quality design and construction that include the appropriate use of materials and colours of muted tones that blend in with the surrounding environment.

2.0**Buildings and works**DD/MM/YY
YY
C120A ~~planning~~ permit is not required to construct a building or construct or carry out works for:

- Construction or and extension of one dwelling on a site lot of 300 sqm or more.
- Works normal to a dwelling.
- Construction ion or extend extension of an outbuilding (other than a garage or carport) on a lot provided the gross floor area of the out-building does not exceed 10 square metres and a maximum building height is not more than 3 metres above ground level.

2.1 General RequirementsThe following buildings and works requirements apply to an application to construct a building or construct or carry out works:

- ~~Landscaping should be provided in the front setback, of a building capable of accommodating including at least one canopy tree.~~
- ~~Light-weight materials such as glass and timber are to be incorporated in all upper levels.~~

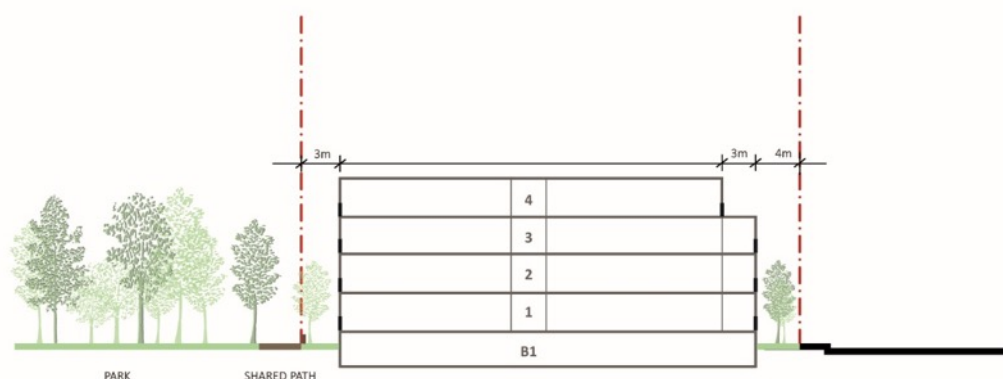
- ~~Building materials must include a range of non-reflective and natural materials, such as brick and wood with a muted colour palette. Require a green zone within the rear setback to retain existing trees and maintain backyard character.~~
- ~~No more than 50% of the roof area is to be occupied by plant and equipment (other than solar panels).~~
- ~~Plant and equipment must be integrated into the design of the building, and located so as to avoid additional overshadowing of private or public open space or habitable room windows on adjoining land, and not project higher than 3.6 metres above the building roof and be integrated into the design of the building.~~
- ~~Require a landscaped front setback to respond to the existing treed streetscape character and protect existing trees and root protection zones.~~
- ~~Require side setbacks to provide for breaks between built form to allow landscaping and protect amenity.~~
- ~~Encourage a podium base of 2-3 storeys responding to existing character.~~
- ~~Encourage upper levels to form a distinct lightweight element setback from the front, side and rear.~~
- ~~Require upper level side setbacks to increase with height, encouraging lot consolidation to allow for greater height in the centre of sites.~~
- ~~Allow balconies to encroach into the upper level setbacks provided they are lightweight and discontinuous.~~
- ~~Use building materials and a colour palette that reflects the existing residential character through natural, non-reflective materials, such as brick and wood as well as muted colours.~~
- ~~Development on lots interfacing directly with a park should include:~~
 - ~~Include a low and visually permeable fence should be included to clearly define the public realm while retaining the potential for visual interaction.~~
 - ~~Provide entries, windows and balconies addressing that address the public open space.~~
 - ~~Ensure that at least two-thirds of the public open space will continue to receive sunlight between 11am and 2pm during the winter solstice.~~
- ~~Development on lots interfacing directly with a park should include a low and visually permeable fence and be designed to address the public open space with entries, balconies and windows.~~

■ ~~2.2~~ **Design Requirements**

- ~~The following buildings and works requirements apply to an application to construct a building or carry out works:~~
- ~~Development should meet the preferred minimum building setback requirements specified in Table 1. Lightweight and discontinuous balcony forms may project into the specified setbacks, except balconies provided they are lightweight and discontinuous and must not exceed the maximum height requirement in Clause 32.07 Schedule 7.~~
- ~~Development should include a 2 metre wide shared path within the open space reserve alongside the common boundary to clearly define the public and private realm.~~

Table 1: Preferred Setbacks

Preferred minimum front street setback	Preferred minimum rear setback	Preferred minimum side setback
4 metres Any part of the a buildings above 3 storeys should be setback a minimum of 3 metres from the front building line and a further 3 metres above 5 storeys	<u>2 metres plus 1 metre for every metre of height above 3 storeys</u> <u>Where two or more lots are consolidated 3 metres, plus 1 metre for every metre of height above 3 storeys</u> 6 metres plus 1 metre for every metre of height over 10.9 metres or where a building shares a boundary with a park, 3 metres	2 metres <u>plus 1 metre for every metre of height above 3 storeys</u>

Diagram 1 – Table 1 Design Requirements Illustrated**Section – Local Park Interface****3.0 Subdivision**

DD/MM/YYYY
Y
C120

None specified.

4.0 Advertising signs

DD/MM/YYYY
Y
C120

None specified.

5.0 Decision guidelines

DD/MM/YYYY
Y
C120

The following decision guidelines apply to an application for a permit under Clause 43.02, in addition to those specified in Clause 43.02 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:

- Whether the relevant objectives and requirements of this schedule are satisfied.
- Whether the design response meets the objectives, strategies and guidelines of the~~The~~ Postcode 3081 Urban Design Framework, 2018~~2019~~.

DD/MM/YYY
Y
C120**SCHEDULE ~~15~~17 TO CLAUSE 43.02 DESIGN AND DEVELOPMENT OVERLAY**Shown on the planning scheme map as **~~DDO15~~DDO17****POSTCODE 3081 URBAN DESIGN FRAMEWORK CREEKSIDE ~~EAST~~****1.0****Design objectives**DD/MM/YYY
Y
C120~~The general design objective is to:~~

- ~~To Encourage urban renewal and support a preferred character of the development of a new mid-rise built form to that~~ activates the Creekside creekside environment and incorporates appropriate setbacks to enable visual links from the Darebin Creek Forest Park to the residential hinterland and provide a visual link from the creek to the residential hinterland.
- To encourage site consolidation and discourage the under-development of land.
- To ensure the scale and form of development achieves the preferred character for the area and manages the potential adverse amenity impacts on adjoining residential properties through an appropriate built form transition from the creek to the hinterland.
- ~~Encourage site consolidation to enable the preferred scale and dwelling form outcomes identified in this schedule, and to improve housing diversity and facilitate high quality development.~~
- ~~Discourage the underdevelopment of land by not permitting dwellings or entrenching uses that are inconsistent with the preferred scale and dwelling form identified in this schedule.~~
- ~~Ensure the scale and form of new dwellings complements the existing landscape character, responds to local natural attributes and landscape opportunities including protection of existing and planting of trees, the desired future streetscape, building height, siting and built form character.~~
- ~~To Ensure~~ buildings are of a high quality design and construction that include the appropriate use of materials and colours of muted tones that blend in with the surrounding environment.
-

2.0**Buildings and works**DD/MM/YY
YY
C120A ~~planning~~ permit is not required to construct a building or construct or carry out works for:

- Construction and extension of one dwelling on a site lot of 300 sqm or more.
- Works normal to a dwelling.
- Construction or extend extension of an outbuilding (other than a garage or carport) on a lot provided the gross floor area of the out-building does not exceed 10 square metres and a maximum building height is not more than 3 metres above ground level.

~~2.1~~ General Requirements

The following buildings and works requirements apply to an application to construct a building or construct or carry out works:

- Landscaping should be provided in the front and rear setbacks of a building capable of accommodating, including at least one canopy tree.
- Light-weight materials such as glass and timber are to be incorporated in all upper levels.
- Building materials must include a range of non-reflective and natural materials, such as brick and wood with a muted colour palette.
- ~~Require a green zone within the rear setback to retain existing trees and maintain backyard character.~~
- ~~Require a landscaped front setback to respond to the existing treed streetscape character and protect existing trees and root protection zones.~~
- ~~Require side setbacks to provide for breaks between built form to allow landscaping and protect amenity.~~
- ~~Encourage a podium base of 2-3 storeys responding to existing character.~~
- ~~Encourage upper levels to form a distinct lightweight element setback from the front, side and rear.~~
- ~~Require upper level side setbacks to increase with height, encouraging lot consolidation to allow for greater height in the centre of sites.~~
- ~~Allow balconies to encroach into the upper level setbacks provided they are lightweight and discontinuous.~~
- ~~Use building materials and a colour palette that reflects the existing residential character through natural, non reflective materials, such as brick and wood as well as muted colours.~~
- ~~Provide pedestrian links defined by low landscaping and permeable front fences and development designed to address links and the creek reserve with entries, windows and balconies.~~
- No more than 50% of the roof area is to be occupied by plant and equipment (other than solar panels).
- Plant and equipment must be integrated into the design of the building, and located so as to avoid additional overshadowing of private or public open space or habitable room windows on adjoining land, and not project higher than 3.6 metres above the building roof and be integrated into the design of the building.

~~2.2~~ Design Requirements

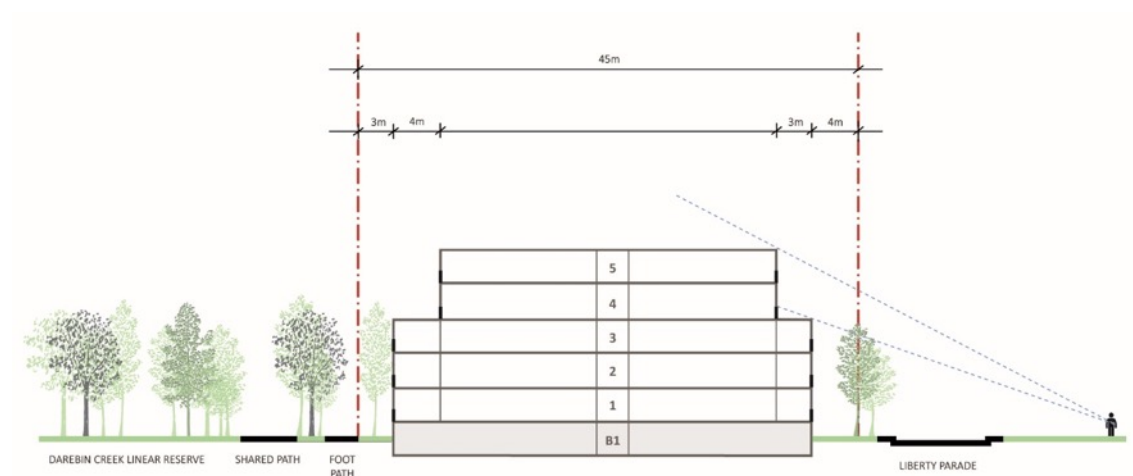
~~The following buildings and works requirements apply to an application to construct a building or carry out works:~~

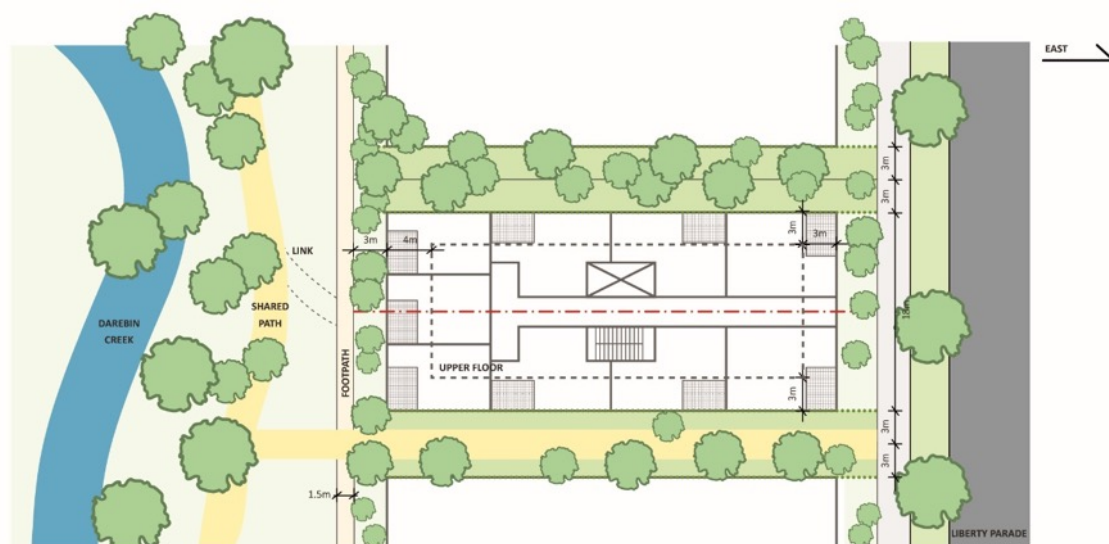
- Development should meet the preferred minimum building setback requirements specified in Table 1. Lightweight and discontinuous balcony forms may project into the specified setbacks, except balconies provided they are lightweight and discontinuous and must not exceed the maximum height requirement in Clause 32.07 Schedule 6.

- Development on lots interfacing directly with the creek reserve should include a 1.5 metre wide footpath within the creek reserve alongside the common boundary to clearly define the public and private realms.

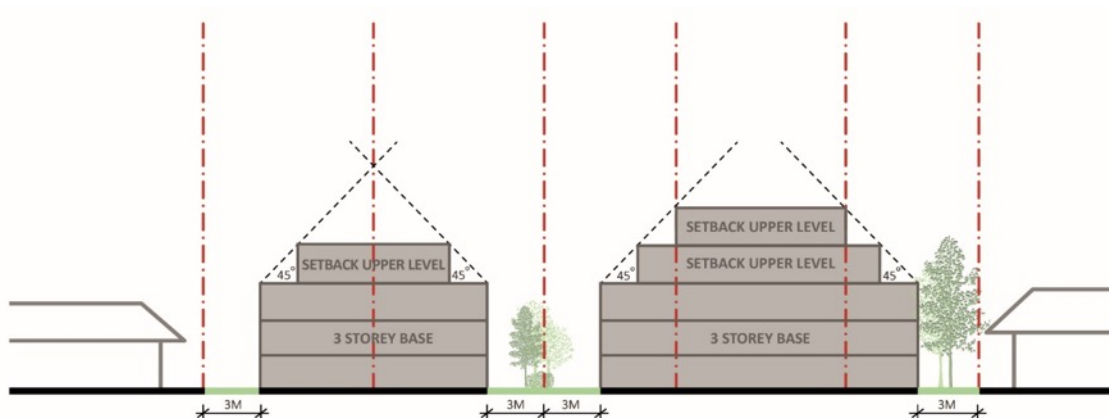
Table 1: Preferred Setbacks

Preferred minimum front street setback	Preferred minimum rear setback	Preferred minimum side setback
<p>4 metres</p> <p>Any part of the<u>a</u> buildings above 3 storeys should be setback a minimum of 3 metres from the front building line and a further 3 metres above 5 storeys</p>	<p>-6 metres <u>plus 1 metre for every metre of height over 10.9 metres</u></p>	<p>2 metres <u>plus 1 metre for every metre of height above 3 storeys</u></p>

Diagram 1—Table 1 Design Requirements Illustrated**Section—Creekside**



Typical Upper Floor Plan – Creekside (two lots consolidated)



Front Elevation – Creekside – sharing side setbacks for 2 lot and 3 lot sites

3.0

Subdivision

DD/MM/YYYY
Y
C120

None specified.

4.0

Advertising signs

DD/MM/YYYY
Y
C120

None specified.

5.0

Decision guidelines

DD/MM/YYYY
Y
C120

The following decision guidelines apply to an application for a permit under Clause 43.02, in addition to those specified in Clause 43.02 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:

- Whether the relevant objectives and requirements of this schedule are satisfied.
- Whether the design response meets the objectives, strategies and guidelines of the The Postcode 3081 Urban Design Framework, ~~2018~~2019.

31/07/2018
VC148

SCHEDULE TO CLAUSE 72.03 WHAT DOES THIS PLANNING SCHEME CONSIST OF?

1.0

Maps comprising part of this planning scheme:

DD/MM/YYYY
C120

- 1, 1ESO, 1SBO, 1VPO
- 2, 2DDO, 2ESO, 2HO, 2LSIO, 2SBO, 2VPO
- 3, 3ESO, 3DDO, 3HO, 3LSIO, 3PAO, 3PO, 3SBO, 3VPO
- 4, , 4DDO 4ESO, 4HO, 4PAO, 4SBO, 4VPO
- 5, 5ESO, 5HO, 5SBO, 5VPO
- 6, 6DDO, 6ESO, 6HO, 6PAO, 6SBO, 6VPO
- 7, 7DDO, 7EAO, 7ESO, 7HO, 7LSIO, 7PAO, 7PO, 7SBO, 7VPO
- 8, 8DDO, 8ESO, 8HO, 8LSIO, 8SBO, 8VPO
- 9, 9ESO, 9HO, 9IPO, 9LSIO, 9SBO, 9VPO, 9DDO
- 10, 10ESO, 10HO, 10LSIO, 10SBO, 10VPO, 10DDO
- 11, 11ESO, 11HO, 11LSIO, 11PAO, 11SBO, 11SLO, 11VPO
- 12, 12BMO, 12DDO, 12ESO, 12HO, 12IPO, 12LSIO, 12PAO, 12SBO, 12SLO, 12VPO
- 13, 13BMO, 13DDO, 13ESO, 13HO, 13PAO, 13LSIO, 13SBO, 13SLO, 13VPO
- 14, 14DDO, 14DPO, 14ESO, 14HO, 14LSIO, 14PAO, 14PO, 14RXO, 14SBO, 14VPO
- 15, 15DDO, 15EAO, 15ESO, 15HO, 15LSIO, 15PO, 15SBO, 15SLO, 15VPO
- 16, 16DDO, 16EAO, 16ESO, 16HO, 16LSIO, 16PAO, 16PO, 16SBO, 16SLO, 16VPO
- 17, 17BMO, 17DDO, 17ESO, 17HO, 17LSIO, 17PAO, 17SLO, 17VPO
- 18, 18BMO, 18DDO, 18ESO, 18HO, 18LSIO, 18PAO, 18SLO, 18VPO
- 19, 19ESO, 19DDO, 19DPO, 19HO, 19LSIO, 19PAO, 19RXO, 19SBO, 19SLO, 19VPO
- 20, 20ESO, 20HO, 20LSIO, 20SBO, 20SLO, 20VPO

Appendix B

CURRICULUM VITAE



Personal Particulars

Name: Paul Buxton, FPIA-Registered Planner
Email: paul@plan2place.com.au
Phone: 0402 839 002 (m)

Career Summary: A leader and planning professional with over two decades expertise managing high performing teams, projects, programs and reforms enhancing Victoria's liveability. An expert in organisational change and reform, best practice process and regulation, strategic and statutory implementation, team leadership, governance, place management and precinct renewal, negotiation and influencing. A values driven person who achieves results through experience, demonstration and leadership, providing strategic, practical insights and advice, great judgement and an outcomes focus delivering positive, lasting results.

Key Strengths:

- strategic and innovative thinking
- project and program management
- process, system and organisational reform
- effective problem solving and authoritative advice pitched at major project delivery
- staff management and development
- analytical skills and evidenced based approach
- strategic and statutory planning
- technical understanding of legislation, subordinate legislation and planning/policy frameworks
- technical understanding of information technology platforms and their application

Professional and Technical Qualifications

Fellow and Registered Planning Practitioner, Planning Institute of Australia

- 1992: Master of Urban Planning, University of Melbourne**
Included a 27,500 word thesis about the forces that influenced the decision to continue with fringe urban development in Melbourne's south-eastern growth area.
- 1991: Bachelor of Arts (Social Sciences), La Trobe University**
Major: Sociology, Minor: Economics, History
- 1985: Victorian Higher School Certificate**

Professional Career History

Organisation	Position	Date
Plan2Place Consulting	Director	February 2018 – current
Department of Environment, Land, Water and Planning	Manager Planning System Reform	Jan 2015 – February 2018
Department of Planning and Community Development	Project Director, Reformed Zones	Oct 2012 – Dec 2014
Department of Planning and Community Development	Assistant Director, Activity Centres Unit	Jul 2007 – Oct 2012
Moonee Valley City Council	Acting Deputy Manager / Coordinator Planning and Advocacy	Jan 2003 – Jul 2007
Moreland City Council	Urban Planning Team Leader/Urban Planner	Oct 1998 – Dec 2002
Tract Consultants	Town Planner	Jan 1996 - Oct 1998

Professional Career Experience/Employment

Feb 2018 – Current, Director, Plan2Place Consulting

Accountabilities include: advising about complex policy and strategic issues, preparing planning scheme amendments, preparing activity centre structure plans and their implementation, leading high performing team across multi-disciplinary policy and planning projects, strategic peer review, planning training, undertaking business case analysis and review and business management and administration.

Key projects included the:

- Brimbank Industrial Land Strategy Peer Review – Brimbank City Council
- West Footscray Neighbourhood Plan Peer Review – Maribyrnong City Council
- St Albans Activity Centre Precinct-4 Land Swap & Planning Advice – Brimbank City Council
- Review of the Nunawading/Mitcham/Mega Mile Structure Plan – Whitehorse City Council
- Strategic and statutory provisions advice for the Sunshine NEIC – Brimbank City Council
- Stormwater controls project for integrated water management – DELWP (Water)
- Development of Commercial 3 Zone and VC amendment documentation – DELWP (Planning)
- Preparation of Industrial and Commercial Land Use Framework Report – DELWP (Planning)
- Building Better Apartments: revised planning provisions project – DELWP (Planning)
- Greening the Greyfields, Planning Implementation Pathways – Swinburne University/Maroondah City Council
- Solomon Heights Estate Strategic Options and Implementation Pathways - Brimbank City Council
- Background Reports, Structure Plans and Community Engagement for the Baxter, Balnarring and Somerville Townships – Mornington Peninsula Sire Council
- Tottenham & West Footscray Employment Precincts Framework Plan Update – Maribyrnong City Council

Jan 2015 – Feb 2018, Manager, Planning System Reform, Department of Environment, Land, Water and Planning

Accountabilities include: preparing business cases for high level programs, managing and supervising a high performing team across multi-disciplinary policy and planning projects, advising Ministers and the Executive about complex policy issues and planning scheme amendments, and undertaking whole of government coordination and extensive stakeholder engagement and management.

Key achievements included the:

- preparation of, and successful announcement through the Victorian 2016 budget, of the \$25.5 Million Smart Planning Program, where my collaboration and negotiation skills helped to obtain the critical support of the Department of Premier and Cabinet and Treasury for the Department's budget bid
- preparation of state-wide planning scheme amendments within Ministerial deadlines including the recent restructuring of the State Planning Policy Framework to give greater weight to Plan Melbourne, Regional Growth Plans and other government policy reviews
- management of new housing initiatives including the coordination of new housing affordability measures and improved social housing, rooming house and crisis accommodation initiatives following the recent Victorian Housing Strategy and Royal Commission into Family Violence.

Oct 2012 – Dec 2014, Project Director, Reformed Zones, Department of Planning and Community Development

Accountabilities included: coordinating and managing the Reformed Zones Ministerial Advisory Committee and the Department's project team, advising Ministers and the

Executive about complex policy issues and planning scheme amendments, and undertaking whole of government coordination and extensive stakeholder engagement and management.

Key achievements included the:

- management of the consultation process state-wide with over 2000 submissions
- delivery of the three reformed zones advisory committee reports over a six month period
- gazettal of state-wide reformed zones and associated guidelines within Ministerial deadlines
- reformed zones presentations state-wide to over 80 internal and external audiences and management of differing expectations within government, agencies, local government, the private sector and community organisations.

Jul 2007 – Oct 2012, Assistant Director, Activity Centres Unit, Department of Planning and Community Development

Accountabilities included: responsibility for capital works and strategic programs worth \$21.6 Million (Creating Better Places, Expert Assistance and Community Works Programs) procuring projects involving expert consultant advice and competitive grants, management and supervision of a high performing team of 14 staff; developing and implementing planning reforms including the Activity Centre Zone and associated guidelines; and extensive networking, stakeholder engagement and whole of government coordination on activity centre and town centre initiatives.

Key achievements included the:

- delivery of improved planning mechanisms for activity centre policy development and implementation recognised through a Planning Institute of Australia award for excellence
- communication of government activity centre policy initiatives through presentations to industry, government, conferences, universities and PLANET courses with an extensive network of allied professionals and champions
- strategic planning support and advice and capital works programs through the CBP Program
- delivery of the Expert Assistance and Creating Better Places programs including the evaluation of tenders for the expert standing panel and maintenance of panel contracts, rapport and relationships with expert standing panel contractors
- financial and governance support for models between private sector partners and local government in the Coburg and Greensborough Activity Centres, resulting in successful public developments.
- coordination of government input into grade separations at Springvale and Mitcham with VicRoads including business processes, positive benefit costs ratios and value capture mechanisms
- production of place management resources to better support place based initiatives, delivery and implementation state-wide

Jan 2003 – Jun 2007, Acting Deputy Manager / Coordinator Planning and Advocacy, Moonee Valley City Council

Accountabilities included: coordination of VCAT planning appeals for council, managing planning administration and enforcement functions, providing extensive planning system knowledge and advice, managing staff teams and statutory functions for planning permits and other approvals, delivering planning communications and publications and coordinating public consultation meetings and functions.

Key achievements included the:

- high appeal success rate and overall reduction in planning appeals
- improved perceptions of planning's performance by the community and professionals
- continuous improvements to information technology, reporting and team productivity

- delivery of the planning department's Best Value review
- improved coordination of public consultation meetings for planning applications with stakeholders
- new promotional planning information, web pages and brochures which greatly improved user interactions and experiences of the planning process.

Oct 1998 – Dec 2002, Urban Planning Team Leader/Urban Planner, Moreland City Council

Accountabilities included: assessing permit applications and planning scheme amendments for Council, presenting to Panels, Tribunals and Council, managing a team of six staff and inputting into strategic and organisational reviews.

Key achievements included:

- providing input into key strategic policy reviews such as the Moreland Industrial Land Use Strategy which packaged surplus industrial land into renewal precincts for mixed use and employment
- oversight and preparation of planning reports on complex residential, mixed use, industrial, subdivision and other land uses/developments
- driving organisational change through restructure of the planning department to a team based structure
- driving the continuous improvement of planning processes, information technology and operations
- advice to private and internal council applicants to facilitate fast tracked and value-added processes.

Jan 1996 - Oct 1998, Town Planner, Tract Consultants

Accountabilities included: preparing applications, submissions and tenders for private sector clients to Panels, Tribunals, and local and state governments.

Key achievements included:

- preparing new format planning schemes for exhibition
- client liaison and consultation
- being the company's Quality Assurance Manager ensuring successful audits and continued accreditation
- preparation company promotional information and brochures

1997 – 2001, (former) Royal Australian Planning Institute (now PIA)

Accountabilities included: member of RAPI Victoria State Committee, Activities Convenor and Member Services Convenor.

Key achievements included:

- responsibility for membership services and improving application processes for new members
- organising 20 high level RAPI industry seminars
- providing critical input into the Institute's policy development and submissions.

- General:**
- hold a current Victorian Drivers Licence
 - Fellow, Member and Registered Planner, Planning Institute Australia