

Area 2: Main Roads**Design Objectives**

- To enhance legibility by increasing height along main roads.
- To maintain the landscape character of the area.
- To ensure that upper levels are visually recessive.
- To ensure development is designed to respond to the grain, rhythm and materiality of the existing character.
- To protect the amenity and backyard character of adjoining residential properties.
- To contribute to the safety and protect the solar access of public open space.
- To manage the built form character transition.

LEGEND

- STUDY AREA
- AREA 2 - MAIN ROADS
- MAXIMUM HEIGHT OF 6 STOREYS
- 4M LANDSCAPED FRONT SETBACK
- LANDSCAPE ZONE (5M MINIMUM DEPTH)
- SETBACK IN ACCORDANCE WITH CLAUSE 55.04-1, 04.4 & 04.5 (B17)
- PROVIDE ACTIVE FRONTAGE, LOW FENCE AND 3M SETBACK TO PARK FRONTAGE

Figure 13 Area 2: Main Roads

Design Guidelines

(These guidelines are designed to encourage consolidation of 2 or more lots to facilitate higher quality development and more efficient use of land)

1. Building heights should not exceed 6 storeys (this height is only likely to be achieved with an amalgamation of 3 lots or more - see Figure 14).

2. Buildings should be setback from a direct interface with residentially-zoned properties in accordance with Clause 55.04-1, Clauses 55.04-4 and 55.04-5.

3. Development should incorporate a minimum front setback of 4 metres to respond to the existing residential character and protect existing trees (and root protection zones) (see Figures 14 and 15).

4. Development should have a side setback of 2 metres to respond to the existing landscape character (see Figure 15).

5. Development should incorporate a rear landscaped setback of 5 metres including at least one large canopy tree per lot, except where the rear boundary abuts public open space.

6. Any part of the building above 3 storeys should be:
 - Setback at least 3 metres from the front building line, and a further 3 metres above 5 storeys;
- Setback beyond a 45 degree plane from the sides of the level below; and
 - Have a lightweight appearance.

7. The architectural expression of the upper levels and base of the building should be complementary.

8. Balconies may encroach into the upper level setbacks provided they are lightweight and discontinuous.

9. Parking provided above ground should be hidden behind habitable accommodation in views from the public realm.

10. Development on lots interfacing directly with a park should:
 - Be designed to address the public open space to provide passive surveillance, and take advantage of views;
 - Include a 3 metre setback from the common boundary with the park;
 - Include a low to moderate height fence to clearly define the public
- realm while retaining the potential for visual interaction;

- Contribute to the cost of a public path in the open space adjacent to the lot boundary to clearly define the public and private realms; and
 - Ensure that at least two-thirds of the public open space will continue to receive sunlight between 11am and 2pm at the winter solstice.

11. Street facades should be articulated to respond to the prevailing 'rhythm' of buildings.

12. Natural external materials and muted colours are encouraged.

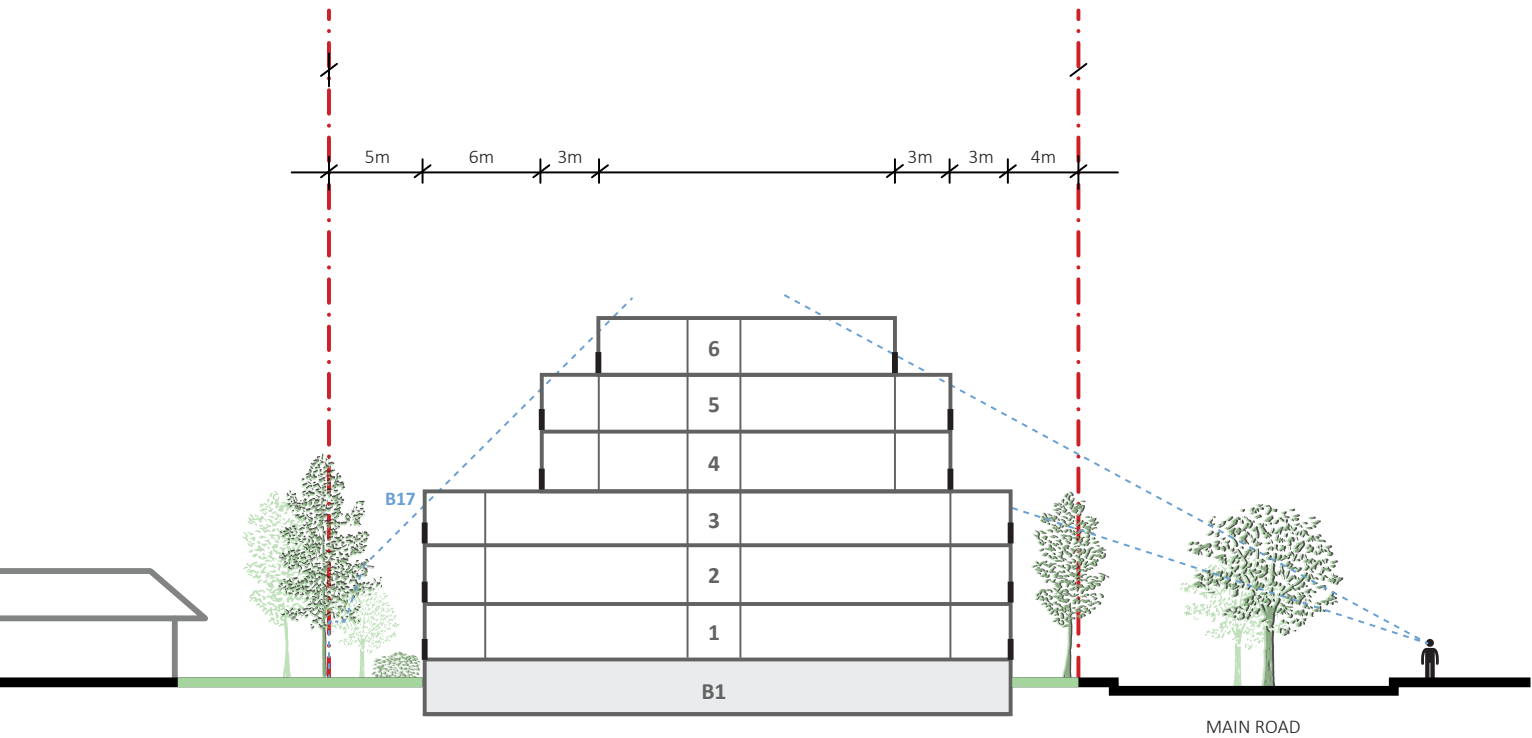


Figure 14 Section - Main Roads

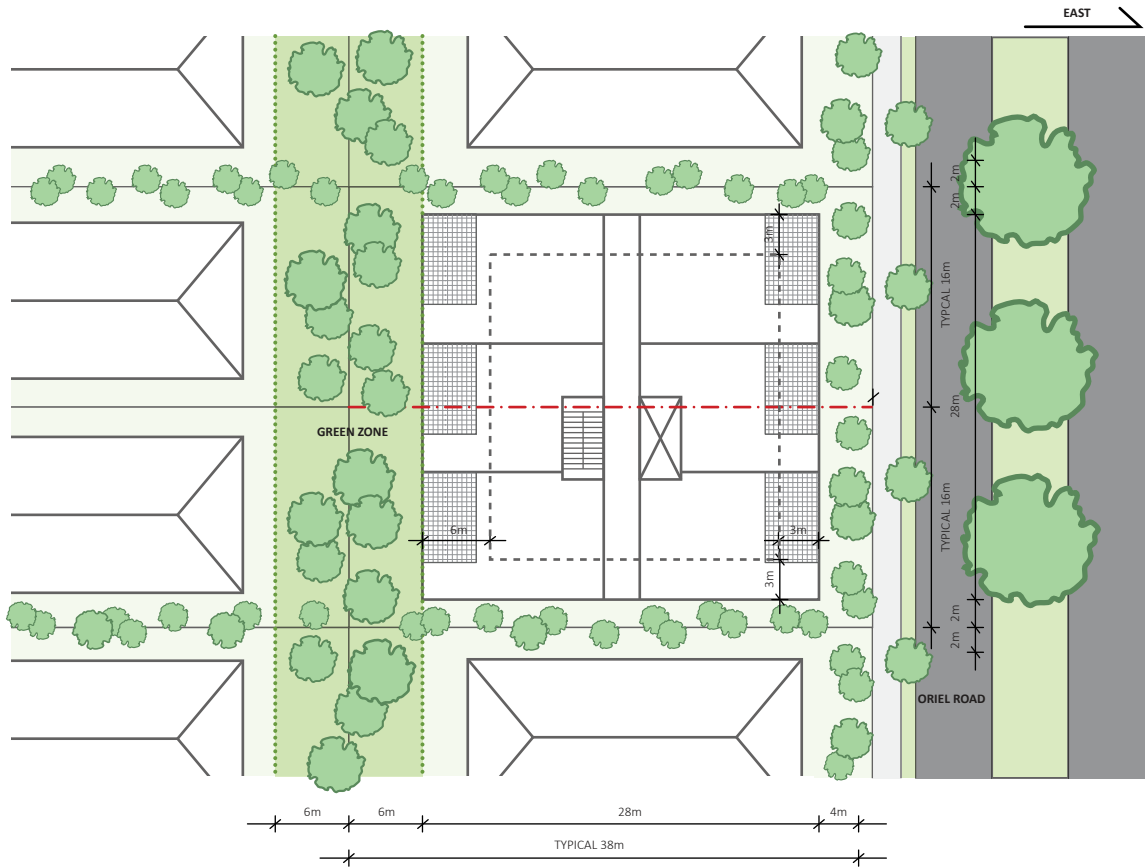


Figure 15 Typical Upper Floor Plan - Main Roads with two lots consolidated