












LEGEND

- | | |
|---|---|
|  STUDY AREA |  EMERGING ACTIVITY CENTRE |
|  AREA 1 - BELL STREET |  BOULEVARD CHARACTER |
|  KEY REDEVELOPMENT SITES |  3M LANDSCAPED FRONT SETBACK |
|  BELLBARDIA ESTATE |  SETBACKS IN ACCORDANCE WITH CLAUSE 55.04-1, -3, -4, -5 AND -6 |
|  TARAKAN ESTATE |  SENSITIVE RESIDENTIAL INTERFACE TO THE SOUTH |
|  MAXIMUM HEIGHT OF 5 STOREYS | |

Area 1: Bell Street

Design Objectives

- To encourage higher density mixed use development that responds to the boulevard character of Bell Street and its access to public transport, shops and services.
- To ensure that institutional development contributes positively to the public realm
- To mark the entry to Postcode 3081.
- To improve the streetscape environment of Bell Street.
- To protect the amenity of adjacent residential properties.
- To provide equitable development opportunities on every property.
- To manage the built form character transition.

Figure 11 Area 1: Bell Street

Design Guidelines

(These guidelines are designed to encourage consolidation of 2 or more lots to facilitate higher quality development and more efficient use of land)

1. Building heights should not exceed 5 storeys.
2. Buildings should be:
 - Setback in accordance with Clause 55.04-1 from a direct interface with residentially-zoned properties and Clauses 55.04-4 and 55.04-5 from the rear boundary of lots on the south side of Bell Street (see Figure 12).
3. Any part of the building above 5 storeys should be:
 - Setback beyond a 45 degree plane from the sides of the level below; and
 - Have a lightweight appearance.
4. Balconies may encroach into the upper level setbacks provided they are lightweight and discontinuous.
5. Development should incorporate a front setback of 3 metres.
6. Side setbacks should be designed to allow for the equitable development of the adjacent property by:
 - A setback of 4.5 metres from the common boundary; or
 - Providing a blank party wall.

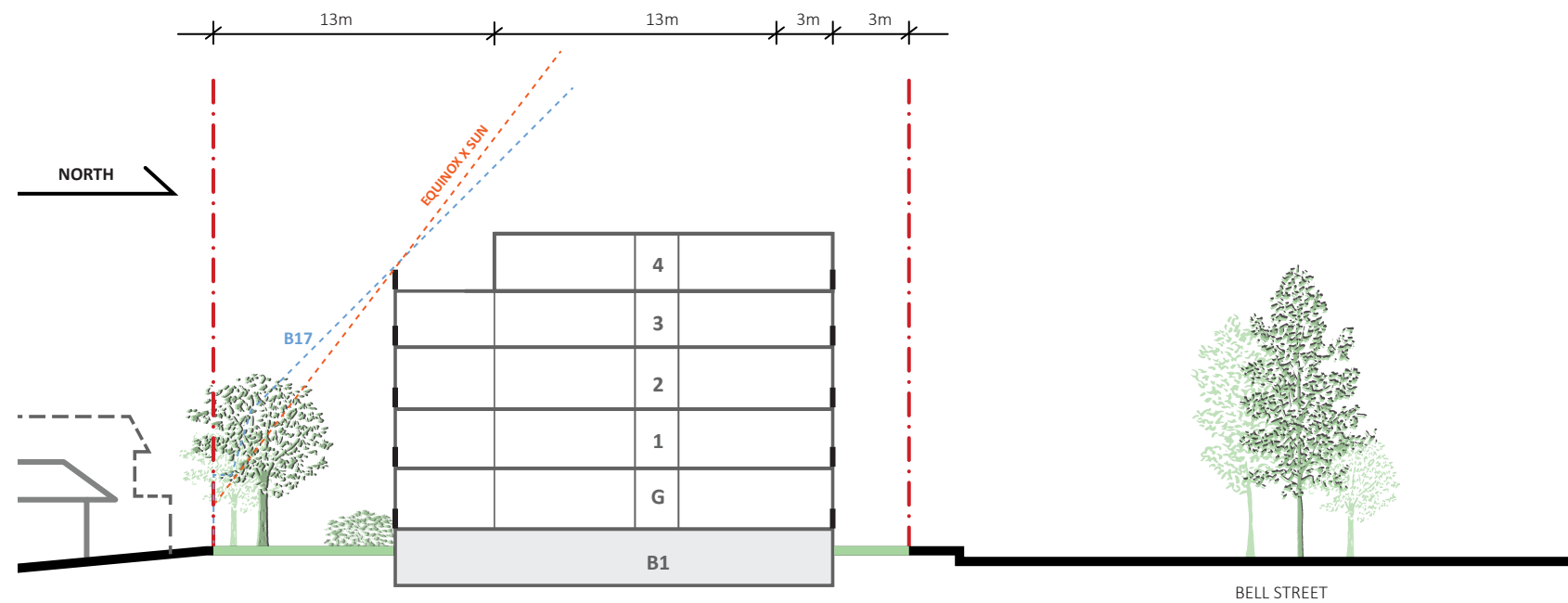


Figure 12 Section - Bell Street (South)